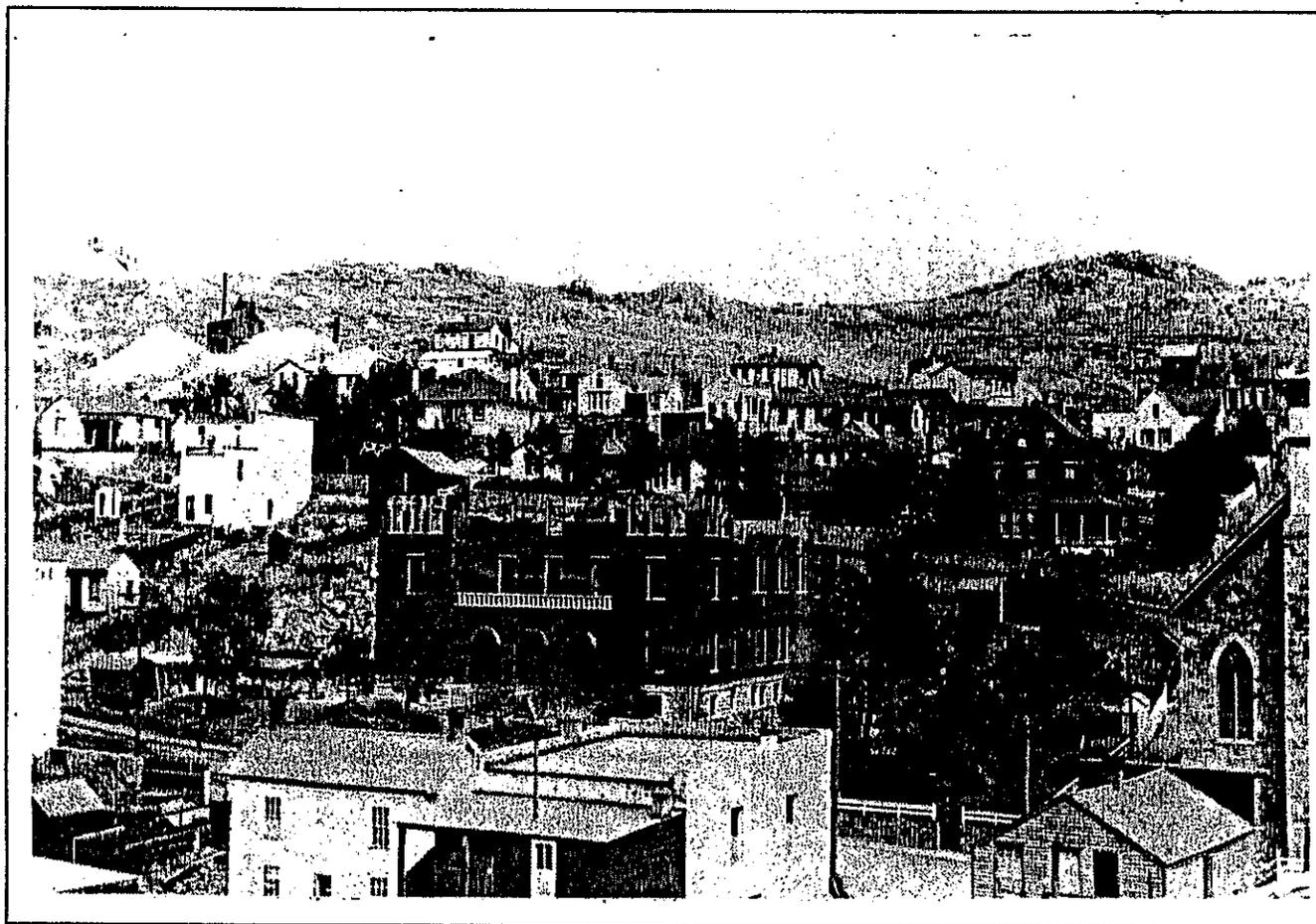


CHAPTER 13:

HIGH STREET/NORTHSIDE RESIDENTIAL NEIGHBORHOOD



DESIGN GUIDELINES FOR CENTRAL CITY

Chapter Cover Photograph:

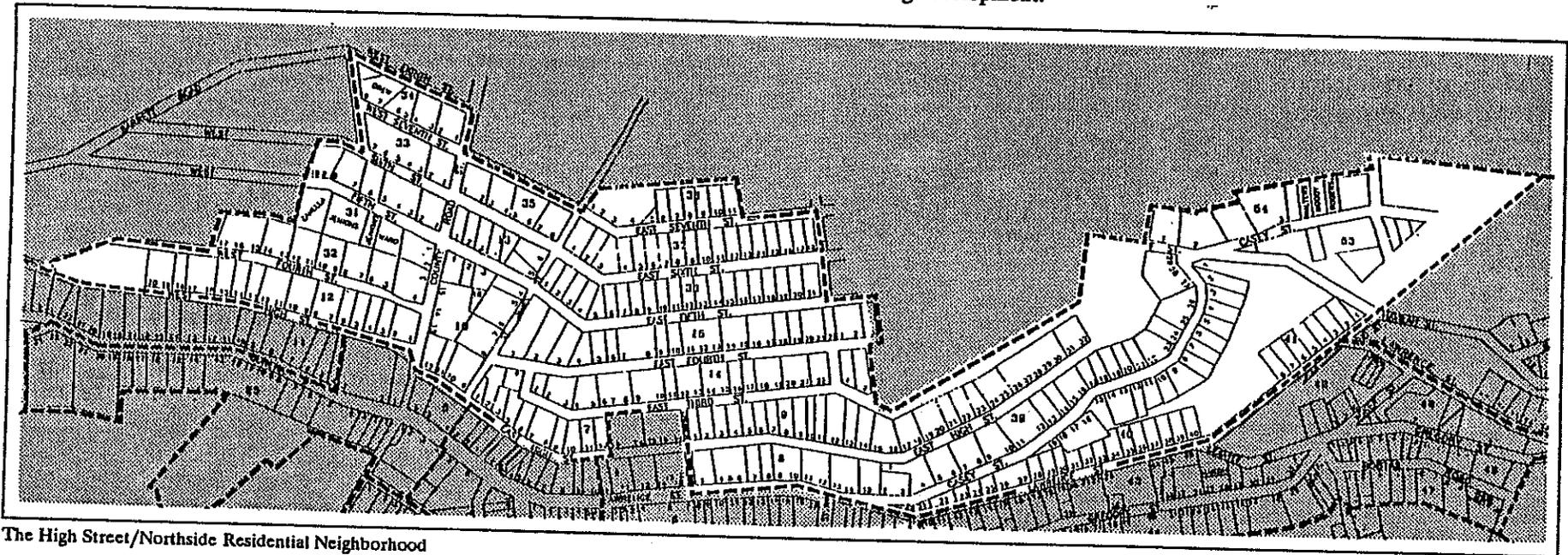
The High Street Neighborhood viewed above the Court House, 1899.

CHAPTER 13 HIGH STREET/ NORTHSIDE RESIDENTIAL NEIGHBORHOOD: DESIGN GUIDELINES

The High Street/ Northside Neighborhood is the predominant residential area in the City. It includes the north side of West High Street, most of East High Street, all of the Casey Avenue and climbs north up Winnebago Hill from Third Street to Seventh Street. It is the largest neighborhood in the City. Refer to the map below for a more specific boundary delineation.

Goals for the Neighborhood

The High Street/Northside Residential Neighborhood retains a great deal of integrity. Most of the historic structures remain and the overall scale and character is still of a residential neighborhood composed of single-family dwellings. The City's goals for this neighborhood are to preserve the residential character and the sense of time and place that exists here as well as to minimize the visual effects of change. For this reason, preservation of all historic structures is a high priority and new buildings should blend in with the established scale and character. New structures should be similar in size and should be sited with the natural topography of the land. All new development should also maintain the use of the east/west streets and respect the natural topography of the land as the driving force for site and building development.



The High Street/Northside Residential Neighborhood

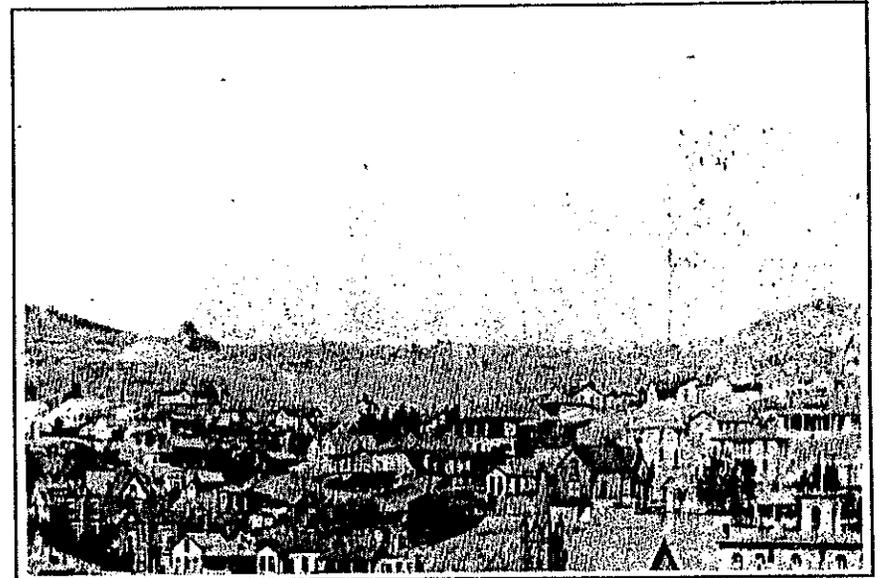
Historical Descriptions

Building Description (Historical)

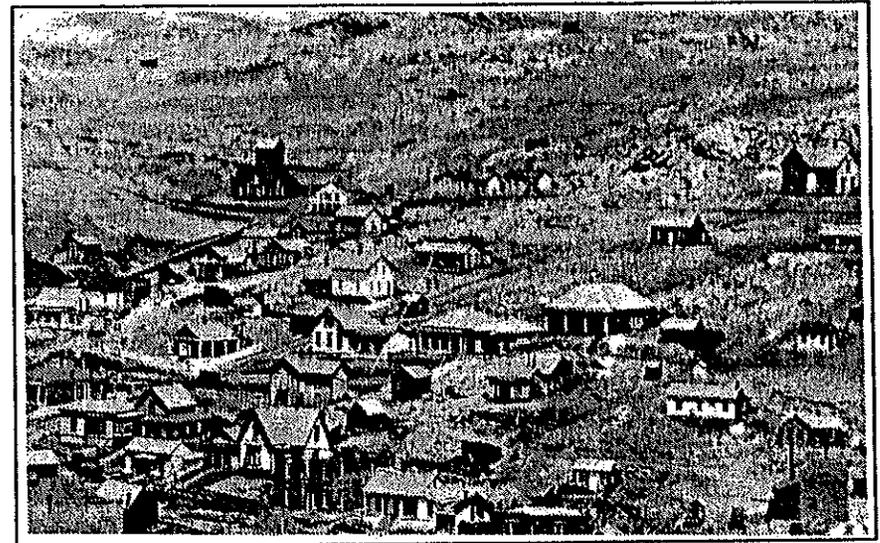
Although this area is currently the largest residential neighborhood in Central City, the earliest photographs indicate that simple rough-hewn log structures were sparsely scattered over a bare mountain hillside. Also located on this mountain were a few mine shafts and other mine-related buildings. Towards the turn of the century, these simple log structures were replaced by wood frame and brick structures. With the boom in population during this period, Central City experienced increased building activity and became much more dense, closely resembling its present day appearance. Using indigenous materials, foundations were usually made of mud sills laid directly on bedrock, then leveled with dry-laid stone. Wood came from the increasingly barren mountains surrounding Central City, and bricks were manufactured at the Hooper Brick Yard down on Spring Street. Following the natural topography of the mountain, the practice of terracing with rubble rock retaining walls was extensively used. Terracing was effective in elevating homes for views and separating private property from the street. This distinctive characteristic survives today.

Site Description (Historical)

This south-facing neighborhood developed on the side of Winnebago Hill and evolved in response to the natural topography of the land. Streets were laid to follow the contours of the hillsides and were connected by a few, steep cross-streets. In a typical block, the house on the north lot faced downhill, its front parallel with the street. A rubble rock retaining wall provided an edge to the uphill side of the street, with steps leading up to a front yard, and a front porch into the house. Many residences had out buildings placed at the rear of the lots which created an edge to the downhill side of residential streets. On the southern lots, residences were built on compacted fill and were immediately accessible off the street with little or no change in elevation.



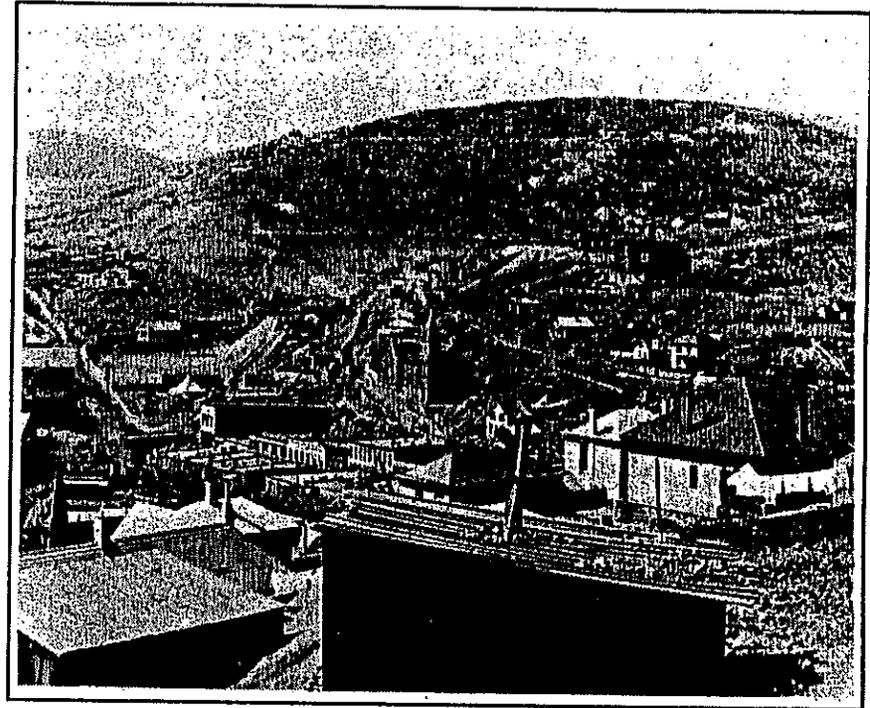
The High Street/Northside Neighborhood, circa 1899.



The south-facing High Street/Northside Neighborhood as it sits on Winnebago Hill, circa 1900.

Neighborhood Views and Character Description (Historical)

The views from this neighborhood have changed little in the past 100 years; the only difference is that trees now are more dense on Winnebago Hill than they were earlier in the City's history. The higher on the hillside that the residences are located, the wider their view angles become. Residences have views east to Black Hawk and west and south to Nevadaville and the City Reservoir. The historic character of this neighborhood remains the same today, with direct views from the front yards of uphill lots to the rear yards of downhill lots.

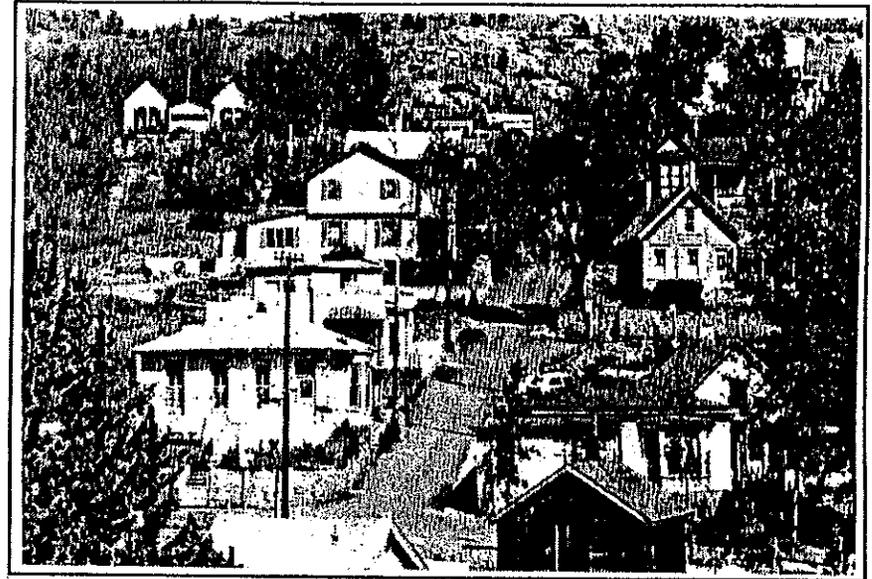


Looking south from Winnebago Hill towards Nevadaville (circa 1899).

Present Day (1992) Descriptions

Building Description (1992)

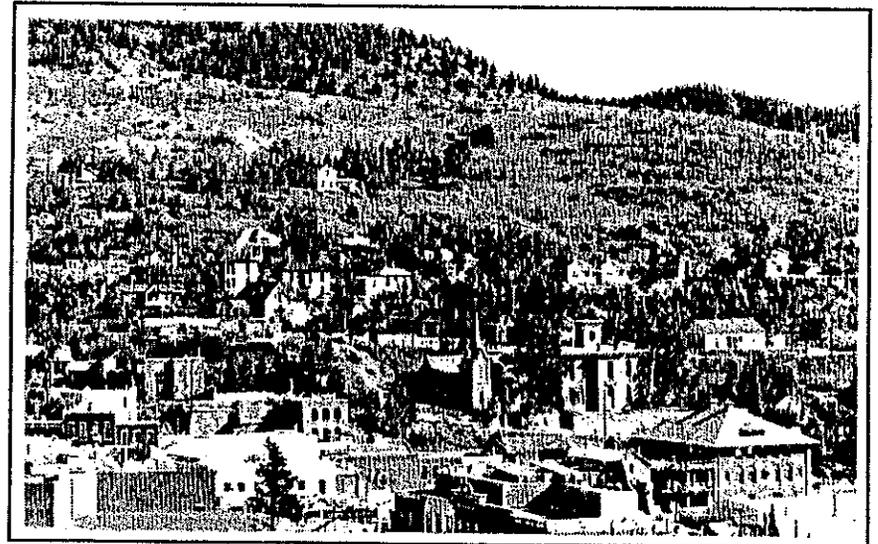
Brick and wood frame structures are the dominant building types found in the High Street/ Northside Residential Neighborhood. Heights of these structures range from one to three stories. Although most buildings have sloping roof forms, primarily gable, hip and mansard roofs, some masonry buildings have flat roofs. In most cases, the gable roofs are oriented with the gable facing the street and are clad in asphalt shingles or standing-seam metal panels. Styles range from ornate Victorians to simple vernacular sheds. Many residences have smaller outbuildings, either in the side or backyard. These give a sense of scale to the neighborhood. Most residences face south, not only to maximize the southern sun, but to take advantage of the views over Central City.



The High Street Neighborhood sited on Winnebago Hill, looking up St. James Street.

Site Description (1992)

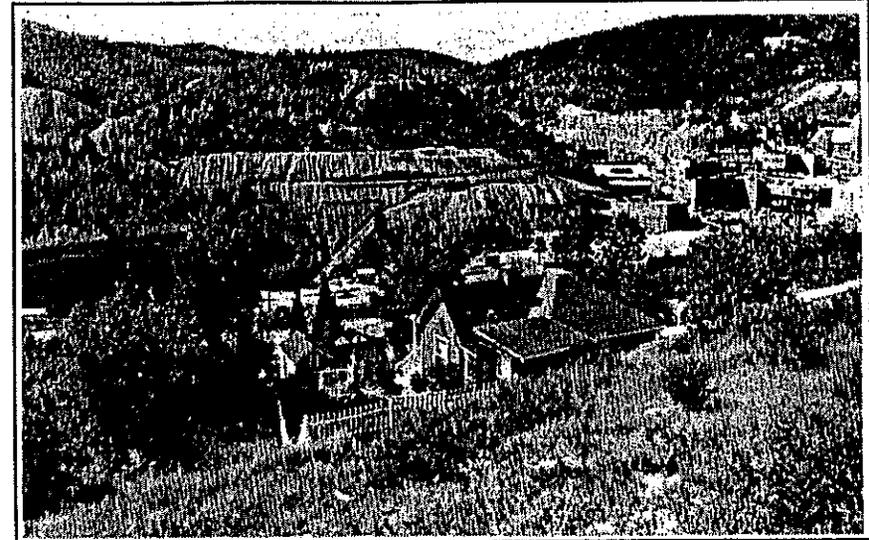
A sequence of distinctive site features establishes a foreground that is typical to each building in the High Street/ Northside Residential Neighborhood: at the street edge, a rubble rock wall rises as a retaining wall, beyond which lies the front yard. Steps are cut into the rubble rock wall that lead up to the yard level. A walkway then proceeds through the yard to another set of stairs that lead to the front porch. The front porch finally leads to the entrance door to the house. This progression of elements is one of the most vital characteristics of the residential neighborhoods, and of the High Street/ Northside Residential Neighborhood in particular. In a typical lot, the front of the house faces downhill and is parallel with the street, which approximately follows the contours of the mountainside. Lot sizes vary from 30 to 120 feet wide, and are consistently 100 feet deep from street to street. Structures are generally located in the center of each lot, and the average setback from the street varies from 10 to 30 feet. Cross streets, which are almost always perpendicular with the hillside contours, provide access across the grid. Streets are generally unpaved. The neighborhood retains much of its historic integrity.



The High Street/Northside Residential Neighborhood overlooks the Commercial Core.

Neighborhood Views and Character Description (1992)

Three distinct view corridors are found in the High Street/ Northside Residential Neighborhood. The first lies west of County Road and looks down into the tight canyon of Eureka Street and beyond to the undeveloped mine territory to the south. The second view corridor exists in the central portion of this neighborhood and looks down into the Commercial Core and then across to the south neighborhoods. The third view corridor, which is the easternmost, looks down into Gregory Gulch and across to the mine sites located on the other side of the Gulch. It is visually related to the Gregory Street Mixed Character Neighborhood.



Sweeping views to the south, including the Commercial Core and Gregory Gulch Neighborhoods, are common in this neighborhood.

Building Design Guidelines

Historic residences in this area range in size from one to three stories in height. In plan, they vary from the smallest footprint, a 20 foot by 25 foot simple wood frame structure to the largest, an ornate two-story, 35 foot by 55 foot brick residence with a mansard roof. For all new construction, size and volume should fall in between these two extremes. This reinforces the visual and physical connection between the High Street Neighborhood and the other residential neighborhoods.

Guideline 1:

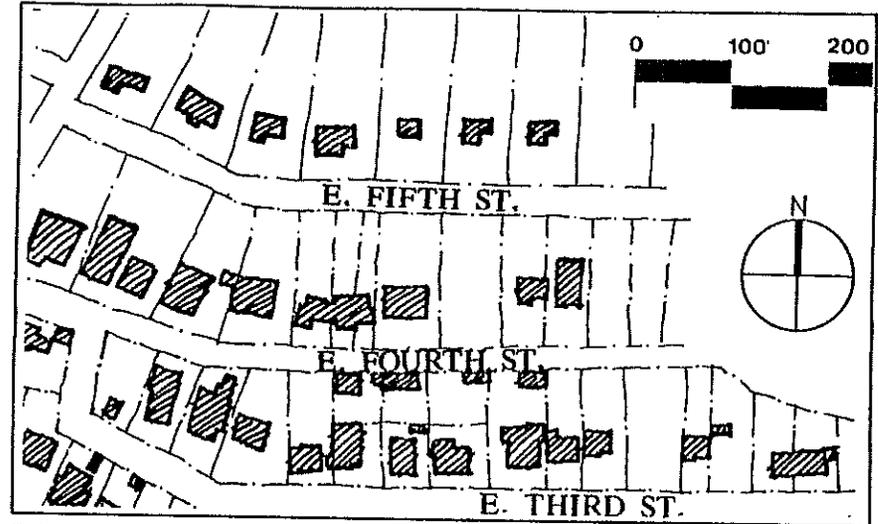
Design new buildings to be similar in height and scale to the historic residential buildings in the neighborhood.

- The overall perceived scale of the building is the combination of height, width, and length, and essentially equals its perceived volume.
- New buildings should not exceed the height of those found in the High Street/Northside Residential Neighborhood.
- Primary facades should be one to three stories high, or higher if it can be substantiated through historical documentation.

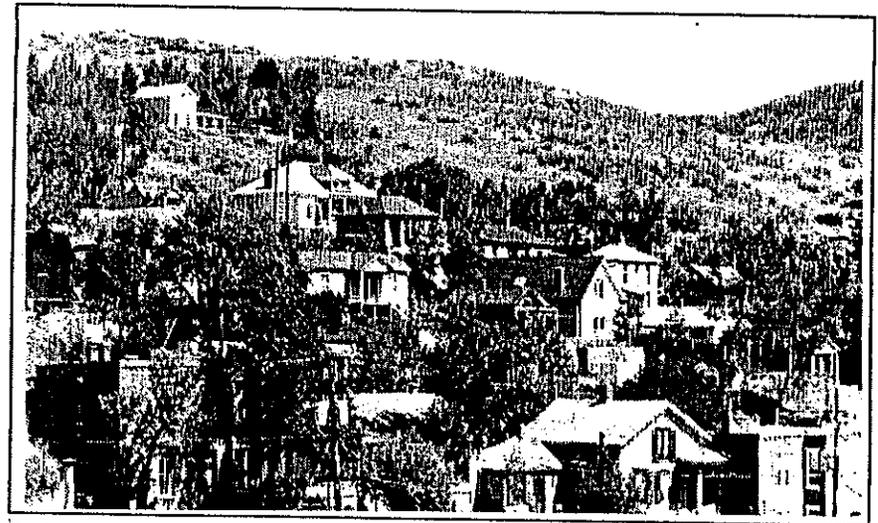
Guideline 2:

Building footprints should reflect the size, shape, and proportion of similar residential building footprints within the High Street/Northside Residential Neighborhood.

- Square, rectangular, L-shaped, and clustered building footprints are most common in this Neighborhood.
- Footprints of new construction should reflect historic footprints. New construction should not exceed the 35 foot by 55 foot footprint maximum.
- A larger footprint is acceptable if it can be proven through historic documentation that a larger footprint existed in the Neighborhood.



Building footprints from the Sanborn Fire Insurance Map of 1900.



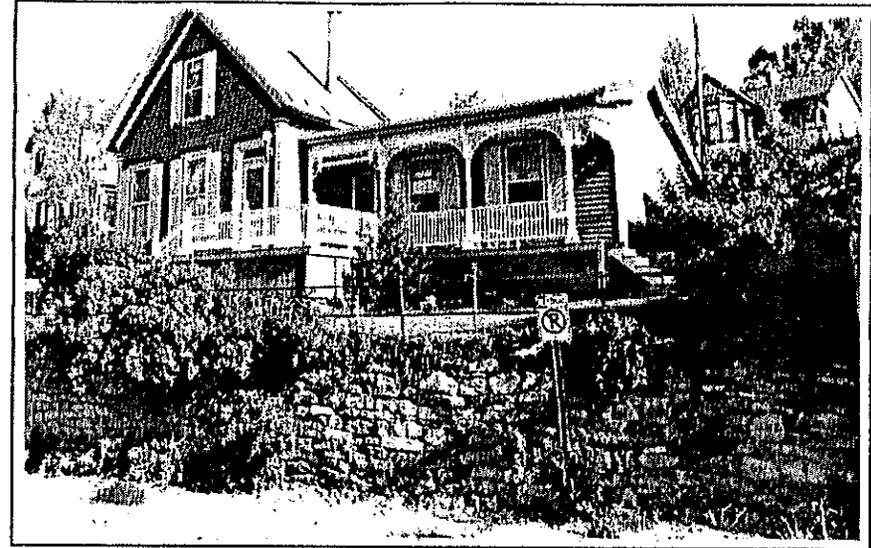
Residences are typically one to three stories high in this neighborhood.

Site Design Guidelines

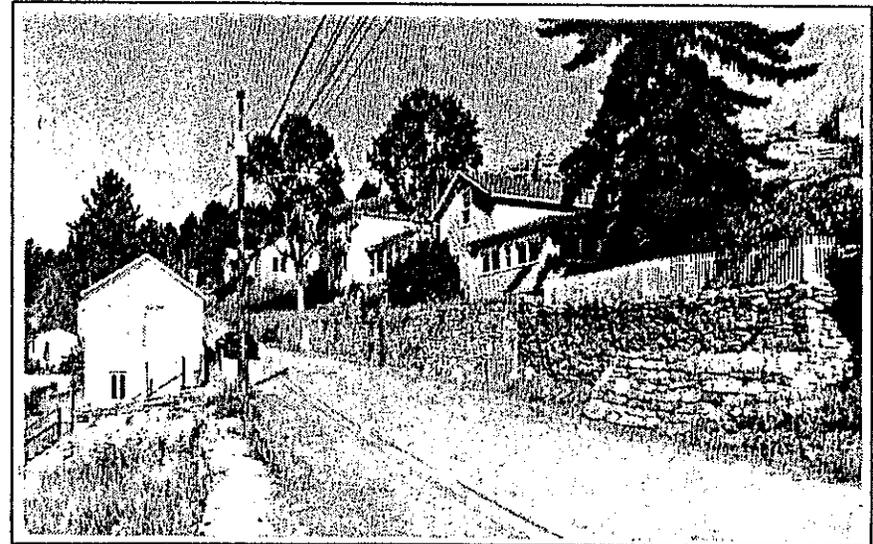
Guideline 3:

Maintain the historic pattern of lot assemblies in the High Street/Northside Residential Neighborhood.

- Typical individual building lots range from 30-120 feet wide and are typically 100 feet deep.
- These lots reflect the natural topography of the neighborhood. They should align along the winding streets of Central City which conform to the contours of the hillsides and gulches. This produces an organic, "non-gridded" neighborhood pattern that must be maintained.
- Landscape designs should visually express the lot pattern through fences, hedges, and other plantings.



Rubble rock retaining walls are successful in elevating the house above street level while defining a front yard area.



Lot lines are expressed with fences, hedges and other plantings.

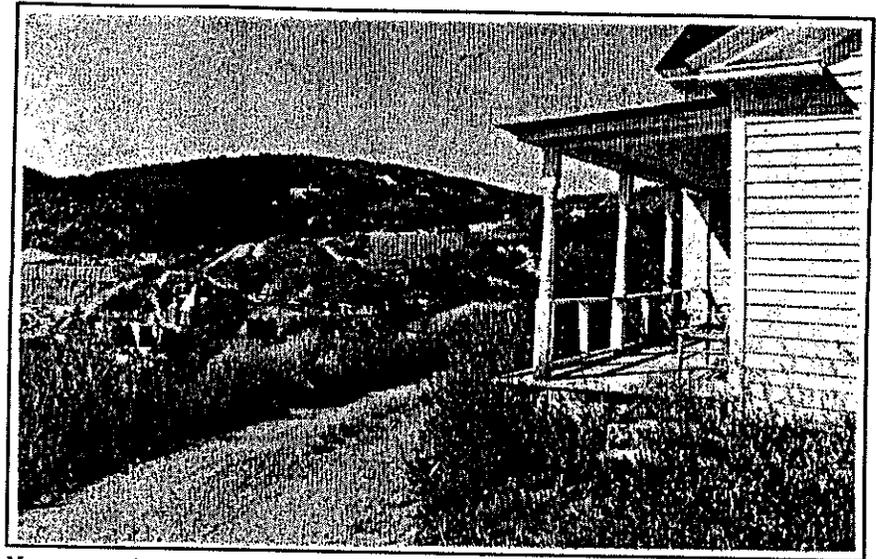
Neighborhood Views and Character Guidelines

Lot configuration and topography are important factors that influence the character of the High Street/ Northside Residential Neighborhood. The residences that occupy these lots not only respond to the above physical conditions, but also to visual conditions such as a view to a particular hillside or other landmark.

Guideline 4:

Maintain the character of the street by preserving views of local historic landmarks and significant natural features wherever possible.

- Views to Gunnell Hill, Central Hill, Mammoth Hill and the Commercial Core, and of local landmarks such as St. Mary's Catholic Church, the Opera House, the Court House, and the Teller House to the hills on the south side of Gregory Gulch should be protected and maintained. New development in the neighborhood should not obstruct these views but take advantage of them.
- Maintaining a view corridor to one of these community focal points may involve providing a building setback, an easement, or siting a drive or walkway along the view axis.



New construction should take advantage of the site, views, and existing building forms when building in the High Street/Northside Residential Neighborhood. A southwest view from above East Sixth Street.