

# WINTER PARK TOWN COUNCIL WORKSHOP

Winter Park Town Hall - 50 Vasquez Road  
Tuesday, July 7, 2015 - 10:00 a.m.

## WORKSHOP AGENDA

1. Commercial Enhancement Grant Discussion (10:00 a.m. – 11:00 a.m.)
2. Hideaway Park Stage Final Design Drawings (11:00 a.m. – 12:00 p.m.)
3. Ballot Issue Discussion (12:00 p.m. – 1:30 p.m.)



*Town of Winter Park Mission Statement - To Actively Develop as a Quality  
Resort Community which Reflects the Beauty of Our Natural Surroundings*



**TOWN OF WINTER PARK  
TOWN COUNCIL**

**Background**

In 2000, the Winter Park Commercial Enhancement Grant Program was established for local businesses to beautify their property and encourage pedestrian/business activity in commercial areas. To date, the Town has awarded nearly 50 grants to businesses. There are two grant cycles each year, on May 1 and September 1. Businesses are required to submit a grant application and drawings of their proposed improvements (application attached) which are then reviewed by the Planning Commission and the Town Council.

Funding is considered based upon review of submitted applications and the potential beneficial impact on pedestrian/business activity of each proposal, as well as the overall effect on said commercial area regarding components such as traffic flow, pedestrian accessibility, beautification, design and use. Grant amounts are limited to 50% of the projected total cost.

**Evaluation Criteria**

The proposals are evaluated based upon the following criteria:

- The degree of beneficial impact on the commercial area.
- The uniqueness of the project. The greater the uniqueness, the greater your chances for maximum funding.
- The amount of visual enhancement to areas viewed by large numbers of people.
- Whether the project creates an area that is pedestrian friendly or that encourages people to gather.
- Conformance to the character of the neighborhood and compliance with the spirit of the Winter Park Design Regulations and Guidelines.
- Other relevant factors as deemed important by the Town Council and or Planning Commission.

**Eligible vs. Non-Eligible Projects**

The grant program allows applicants the ability to apply for a 50% match on the following improvements:

- Artwork (murals, statuary, etc.)
- Pocket parks or other public gathering places
- Fountains
- Landscaping and general beautification in conjunction with other significant items from this list
- Unique playgrounds
- Decorations (both seasonal and event specific)
- Interior infrastructure specifically required for a project proposed from the items above (i.e., electrical and plumbing for a fountain)

The grant program also states that the following items **are not eligible** for funding under the grant program:

- maintenance items such as:
  - paving
  - general painting
  - roofing
  - structural repairs or improvements
  - replacement windows
  - other such items

**Grant Awards - 2013 - 2015**

Year	Business	Project	Grant Amount
2013 \$51,000.00	Adolf's Event Center	Improve Patio	\$4,000.00
	Winter Park Center	Façade Improvements	\$20,000.00
	Pine Tree Plaza	Awnings	\$4,000.00
	Vasquez Center	Replace Deck	\$20,000.00
	Fontenot's	Shade Screen over Deck	\$3,000.00
2014 \$99,601.81	Adolf's Building	Mural	\$887.50
	DaVinci Restaurant	Outdoor Deck	\$24,048.67
	Best Western Lodge	Awnings	\$9,485.00
	Smokehouse BBQ	Façade Improvements	\$40,000.00
	Village Center	Lighting	\$23,180.64
	Casa Mexico	Outdoor Deck	\$2,000.00
2015 \$59,488.97	Winter Park Station	Landscaping	\$15,180.47
	Mountain Grind	Awnings and Patio Improvements	\$3,482.50
	Winter Park Pub	Landscaping	\$7,985.50
	Main Street Center	Replace Patio	\$32,840.50

**Discussion**

During the spring grant cycle, the Council discussed making changes to the grant program. With the fall cycle near, staff wanted to incorporate any changes the Council wishes to make.

Potential discussion topics -

- Eligible vs non-eligible items
- Number of cycles per year- have just a spring cycle?
- Change the dates for submittal?
- Reduce the grant match from 50% to a lower amount?
- Increasing the budgeted amount per year



# Commercial Enhancement Grant Program

## Purpose:

The Winter Park Commercial Enhancement Grant Program established a fund which can be utilized by local organizations or businesses to beautify their property and Winter Park, thereby encouraging pedestrian/business activity in commercial areas. Organizations or business owners desiring access to these funds shall submit applications outlining their proposal and anticipated beneficial impacts. Allocation of funds will be based upon the merit of the proposal. Applications will be reviewed by the Town Council and Planning Commission for funding.

Applications will be considered twice a year in the spring and fall. Deadlines for submittal are May 1st and September 1st. Funding will be considered based upon review of submitted applications and the potential beneficial impact on pedestrian/business activity of each proposal, as well as the overall effect on said commercial area regarding components such as traffic flow, pedestrian accessibility, beautification, design and use. Please note that new construction projects are not eligible for grant funding except in the case of unique elements such as sculptures, murals or fountains.

Grant amounts are limited to 50% of the projected total cost. The Town Council must receive all paid receipts within forty-five (45) days of completion of the project before the grant amount will be reimbursed. Individuals/entities performing the work must comply with all Town licensing and tax requirements.

## Evaluation Criteria:

The Town Council will evaluate proposals based upon the following criteria:

- ~ The degree of beneficial impact on the commercial area.
- ~ The uniqueness of the project. The greater the uniqueness, the greater your chances for maximum funding.
- ~ The amount of visual enhancement to areas viewed by large numbers of people.
- ~ Whether the project creates an area that is pedestrian friendly or that encourages people to gather.
- ~ Conformance to the character of the neighborhood and compliance with the spirit of the Winter Park Design Regulations and Guidelines.
- ~ Other relevant factors as deemed important by the Town Council and or Planning Commission.

## Eligible Projects:

- ~ Artwork (i.e. murals or statuary)
- ~ Pocket parks or other public gathering places
- ~ Fountains
- ~ Landscaping and general beautification in conjunction with other significant items from this list
- ~ Unique playgrounds
- ~ Decorations (both seasonal and event specific)

Note: Only that interior infrastructure specifically required for the project proposed may be awarded grant funding (i.e. electrical and plumbing for a fountain). Proposals for maintenance items such as paving, general painting, roofing, structural repairs or improvements, or replacement windows, will not be considered.

## Submittal Requirements:

- ~ Completed Commercial Enhancement Grant Program Application
- ~ Sketch, color rendering, or photograph of applicable artwork
- ~ Site plan or sketch of project location on the commercial location
- ~ Complete itemized cost breakdown estimate
- ~ Landscaping proposals must provide a complete plant list with quantities

**APPLICATION**  
**Commercial Enhancement Grant Program**

*(Please complete the entire application and attach all applicable documents. Incomplete applications will not be accepted.)*

Organization/Business Name  Business License No.

Mailing Address/City/State/Zip

Business Phone  Business is (check one):  Non-Profit  For Profit

Contact Person/Title  Contact Email

Project is a(n):  Ongoing Project  One-Time Project Grant Amount Requested

Total Estimated Cost of Proposal (Please attach an itemized Budget)

Source of Funding in Addition to Grant

Time-Frame for Implementation of Proposal

Recipient Group or Individual to Benefit from Grant

Purpose of Grant -  
Please provide diagrams and/or samples (attach additional pages if necessary).

Previous Improvements and/or Accomplishments and Summary of Costs

How would this proposal benefit Winter Park and your Organization/ Business? (Please limit response to one additional page, if needed.)

Signature of Applicant  Date

Additional information may be requested.

Please return the complete Application and Attachments to:  
Town of Winter Park ~ Planning Department  
PO Box 3327/50 Vasquez Road ~ Winter Park, CO 80482  
P) 970.726.8081 F) 970.726.8084

**From:** [Chris Wineman](#)  
**To:** [James Shockey](#)  
**Cc:** [Tom Gallagher](#)  
**Subject:** Hideaway Park Cost Estimates  
**Date:** Tuesday, May 19, 2015 4:55:56 PM  
**Attachments:** [Hideaway park clarification.pdf](#)

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Dear James:

Thanks for your patience; we were able to discuss estimates with Centerre Construction today, and I believe we'd be prepared to meet with you in a week to go over both costs and schedule scenarios.

### **PRIOR COST OPINION**

As you'll recall, we provided you with a cost opinion in November 2014 that covered the following:

- Stage structure
- Storage structures
- Green room structure
- Site plaza area immediately adjacent to the building

That cost opinion was \$2.1 million.

### **DD COST ESTIMATE**

For this update, we provided Centerre with our DD drawing package; we requested cost information on all of the above AND the additional site components that were designed by Design Concepts (parking area, sidewalks, retaining wall, trail connection, fire pit, pad for event tents, landscape plantings, etc.).

We are pleased to report that Centerre's estimated cost for the structures is very close to our November cost opinion of \$2.1 million.

The additional site components add just over \$1 million (direct construction cost plus contingencies, fees, etc.) to the project, so their combined estimate for building and site is \$3.2 million. I've attached a copy of their estimate for your review.

Please let me know if you have any questions, and when you'd be available to discuss these numbers and the schedule scenarios.

Thanks!

SEMPLE BROWN | ARCHITECTS AND DESIGNERS

CHRIS WINEMAN, PRINCIPAL

1160 SANTA FE DRIVE, DENVER, CO 80204

P 303.571.4137 F 303.571.0403

D 720.509.8832 [SEMPLEBROWN.COM](http://SEMPLEBROWN.COM)

A PROFESSIONAL CORPORATION





May 12, 2015

Tom Gallagher  
Semple Brown  
1160 Santa Fe Drive  
Denver, CO 80204

## Hideaway Park Stage

### Rough Order of Magnitude Estimate

Centerre Construction, Inc. is pleased to submit preliminary pricing for the above referenced project. The preliminary estimate is based on the Drawings provided by Semple Brown Architects dated April 1, 2015. We have made numerous assumptions regarding the scope of this project and have listed them for you to review.

Preliminary Rough Order of Magnitude: **\$3,196,097**

### **CLARIFICATIONS/ASSUMPTIONS**

#### Division 2 Site Work:

- Excavation:
  - Includes site grading per the new site contour plan.
  - Includes fine grading at the stage and parking area.
  - Includes erosion control.
  - Site excavation is based on no import or export of material.
  - Includes building excavation and backfill with onsite material.
  - Excludes structural fill.
  - Excludes rock excavation.
  - Excludes over lot grading.
  - Excludes over excavation, re-compaction or soil treatment for expansive soils.
  - Excludes dewatering.
  - Excludes hazardous material excavation and removal.
  - Existing soils conditions is unknown at this time no soils report was provided.
- Demolition:
  - Includes demolition for curb and gutters, and concrete at new drive pans.
- Asphalt:
  - Includes new asphalt parking lot over existing soils.
  - Includes striping for parking spaces or traffic patterns.
- Site Utilities:
  - Includes approximated quantities for installing new water, sanitary sewer, storm sewer and gas from the street to the site. These quantities are assumed based on the location of the stage and the need to tie these systems to the city infrastructure in the street. Once it is determined where the tie-in locations will be these prices will adjust accordingly.
  - Excludes storm line work.

- Excludes tap fees, all tap fees are by owner.
- Landscaping:
  - Includes new trees, shrubs, native grasses, sod, mulches, boulders, boulder retaining wall, gravel, picnic tables and fire pit.

#### Division 3 Concrete:

- Concrete Foundations:
  - Includes foundations and footings at stage.
- Concrete Flatwork:
  - Includes a 5" slab on grade under stage.
  - Includes new raised slab at stage.
  - Includes sidewalks, curb and gutter around the site per the preliminary site plan.
  - Includes stage steps.

#### Division 4 Masonry:

- Includes concrete masonry unit walls.
- Includes screen walls at transformer.
- Includes sandstone veneer walls.

#### Division 5 Metals:

- Steel:
  - Includes columns, decking, lintels and beams at stage floor.
  - Includes structural steel at stage roof.

#### Division 6 Woods and Plastic:

- Rough Carpentry:
  - Includes miscellaneous wood blocking and backing as required.
- Millwork:
  - Includes counters at restrooms.
  - Includes wall and base cabinets.
  - Includes wood screen walls

#### Division 7 Thermal and Moisture Protection:

- Dampproofing:
  - Includes dampproofing the new foundation walls at the stage foundation walls.
- Building Insulation:
  - Includes perimeter insulation at stage and insulation at restroom walls.
- Roofing:
  - Includes installation of EPDM or TPO flat roofing at the stage.
  - Includes sheet metal flashing at fascias, window heads, door heads, and transition flashings.
- Metal Siding:
  - Includes metal siding as shown.

## Division 8 Doors and Windows:

- Doors/Frames/Hardware:
  - Includes hollow metal door frames with wood doors as shown.
  - Includes hardware packages for standard operation doors (lock sets, closers, hinges and kickplates).
- Glass and Glazing:
  - Includes Nana wall as shown.
  - Includes storefront glazing.

## Division 9 Finishes:

- Drywall:
  - Includes installation of drywall on the newly framed walls at the restroom and Green room area.
  - Includes hardlid ceilings at the restroom areas.
- Plaster Ceiling:
  - Includes plaster ceiling at the stage.
- Floor Covering:
  - Includes installation of ceramic tile floor in restrooms with cove base.
  - Includes installation of ceramic tile Wainscot on restroom wet walls up to 4'.
  - Includes sealed concrete at all other areas.
- Painting:
  - Includes painting all walls and gypsum board ceilings.
  - Includes painting hollow metal door frames.
  - Includes painting of any exposed steel structure.
  - Includes sealing the exterior masonry walls.

## Division 10 Specialties:

- Includes toilet partitions and accessories in the restrooms.

## Division 15 Mechanical:

- Plumbing:
  - Includes water closets, lavatories, urinals, hose bibs, floor drains, mop sink, kitchen sink, water heaters, and gas lines as shown.
- Mechanical:
  - Includes boiler, snowmelt system, pumps, glycol feeder, exhaust fans, electric cabinet heaters, baseboard heaters electric unit heaters electric ductwork and necessary ductwork as shown.
- Fire Sprinkler:
  - Excludes a wet or dry pipe sprinkler system.

## Division 16 Electrical:

- Includes electrical panels, outlets, switches lighting, as shown.

**GENERAL CLARIFICATIONS:**

- Excludes building permit and plan check.

- Excludes use tax.
- Excludes builder's risk.
- Includes liability insurance.
- Excludes an owner's contingency, we recommend that the owner carry a 10-15% contingency at the preliminary design stages.
- Excludes bond on General Contractor.
- Excludes all Furniture Fixtures & Equipment (FF&E).
- Excludes purchase of any owner supplied light fixtures or stage equipment.
- Excludes all design, architectural and engineering.
- Price is based upon a mutually agreed upon AIA A101 contract.
- Excludes tap fees.
- Excludes all material testing.
- Excludes all hazardous material abatement.
- Centerre Construction reserves the right to re-price once final construction drawings are provided.

Thank you for the opportunity to provide preliminary pricing on this project. If you require any additional information on how we prepared this estimate please contact us.

Respectfully,

Centerre Construction, Inc.



Stephen Hritz  
President

# HIDEAWAY PARK STAGE

**SEMPLE  
BROWN**

## GENERAL NOTES

## PROJECT DIRECTORY

**OWNER**  
**TOWN OF WINTER PARK**  
 P.O. Box 3327 / 50 Vasquez Road  
 Winter Park, CO 80482  
 970.726.8081 (office)  
 CONTACT: JAMES SHOCKEY, AICP,  
 Town Planner

**ARCHITECT**  
**SEMPLE BROWN ARCHITECTS AND DESIGNERS, P.C.**  
 1160 SANTA FE DRIVE  
 DENVER, CO, 80204  
 PHONE: 303.571.4137  
 CONTACTS:  
 CHRIS WINEMAN, PRINCIPAL IN CHARGE  
 TOM GALLAGHER, AIA, LEED AP BD&C, DESIGN PRINCIPAL

**STRUCTURAL ENGINEER**  
**JVA, Incorporated**  
 PO Box 1860  
 47 Cooper Creek Way, Unit 328  
 Winter Park CO 80482  
 Phone: 970.722.7677  
 CONTACT: CRAIG M. KOBE, P.E., LEED AP

**MECHANICAL, PLUMBING & ELECTRICAL ENGINEER**  
**The RMH Group, Inc.**  
 12600 W. Colfax Avenue, Suite A-400  
 Lakewood, Colorado 80215  
 Contact:  
 Mark Rudiger Senior Lighting Designer  
 Phone: 303-239-0909

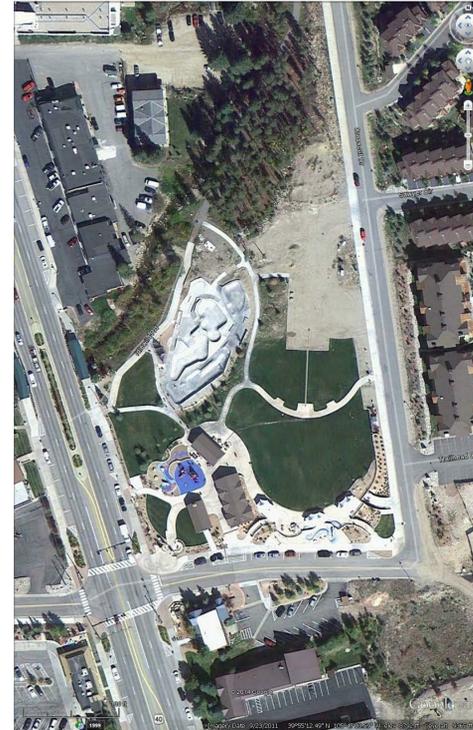
**LANDSCAPE ARCHITECT**  
**DESIGN CONCEPTS**  
 211 N. Public Road, Suite 200  
 Lafayette, CO 80026  
 PHONE: (303) 664-5301  
 CONTACT: CAROL HENRY, PLA, ASLA, PRINCIPAL

**ACOUSTICS AND AUDIO VISUAL**  
**JAFFE HOLDEN**  
 114-A Washington Street  
 Norwalk, Connecticut 06854  
 CONTACTS:  
 RUSS COOPER, PRINCIPAL, ACOUSTICS:  
 203.838.4167 ext.113  
 DANIEL HORNEY, CONSULTANT, AV SYSTEMS:  
 203.838.4167 ext. 149

## RENDERINGS



## VICINITY MAP



## DRAWING INDEX

SHEET NO.	SHEET NAME
<b>LANDSCAPE</b>	
--	SITE PLAN (RENDERED)
G1.0	GENERAL NOTES & ABBREVIATIONS
G2.0	EXISTING CONDITIONS AND DEMOLITION
L1.0	SITE PLAN
L2.0	PLANTING NOTES & DETAILS
L3.0	SITE DETAILS
<b>ARCHITECTURE</b>	
A0.01	ARCHL SITE PLAN
A1.00	FLOOR PLAN-BACKSTAGE LEVEL
A1.01	STAGE LEVEL FLOOR PLAN
A1.02	ROOF PLAN
A1.11	CEILING PLAN
A2.01	ELEVATIONS-BUILDING
A3.01	SECTIONS-BUILDING
A3.02	SECTIONS-BUILDING
A3.03	SECTIONS-BUILDING
A3.04	SECTIONS-BUILDING
A7.01	ROOF STRUCTURE
A9.01	3D DRAWINGS
<b>STRUCTURAL</b>	
S0	GENERAL NOTES
S1	FOUNDATION PLAN
S2	STAGE FLOOR FRAMING PLAN
S3	ROOF FRAMING PLANS
<b>MECHANICAL</b>	
M0.00	MECHANICAL LEGEND
M1.00	HVAC PLAN-BACKSTAGE LEVEL AND ROOF
M3.00	MECHANICAL SCHEDULES AND PIPING DIAGRAM
<b>PLUMBING</b>	
P1.00	PLUMBING PLAN
P2.00	PLUMBING SCHEDULES AND DETAILS
<b>ELECTRICAL</b>	
E0.00	ELECTRICAL LEGEND
E1.00	POWER PLAN-BACKSTAGE LEVEL
E1.01	POWER PLAN-STAGE LEVEL
E2.00	LIGHTING PLAN-BACKSTAGE LEVEL
E2.01	LIGHTING PLAN-STAGE LEVEL
E2.03	LIGHTING PLAN-ROOF
E3.00	ELECTRICAL SCHEDULES AND DETAILS

## ARCHITECTS AND DESIGNERS

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 F 303.571.0403  
 1160 SANTA FE DRIVE  
 DENVER, CO 80204  
 SEMPLEBROWN.COM

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 SEMPLE BROWN DESIGN, P.C.

## DESCRIPTION OF WORK

**DESCRIPTION:**  
 A NEW STAGE, STAGE ROOF STRUCTURE, UNDERSTAGE  
 STORAGE, BACK STAGE AND GREEN ROOM BUILDINGS IN THE  
 TOWN'S EXISTING HIDEAWAY PARK

## PROJECT ABBREVIATIONS

#	POUND(S) or NUMBER	CLG	CEILING	F	FARENHEIT	HR	HOUR	MUL	MULLION	RBT	RUBBER TILE	THK	THICK or THICKNESS
A	AND	CLOS	CLOSET	FA	FIRE ALARM	HT	HEIGHT	N	NORTH	RD	ROOF DRAIN or ROAD	THLD	THRESHOLD
(E)	EXISTING	CLR	CLEAR	FAC	FIRE ALARM CABINET	HTR	HEATER	NIC	NOT IN CONTRACT	RE	REFER TO or REFERENCE	TOC	TOP OF
(N)	NEW	CM	CENTIMETERS	FACP	FIRE ALARM CONTROL PANEL	HVAC	HEATING, VENTILATION and AIR CONDITIONING	NO	NUMBER	REC	RECESSED	TOS	TOP OF STEEL
(R)	REMOVE	CMU	CONCRETE MASONRY UNIT	FBO	FURNISHED BY OTHER(S)	HW	HOT WATER	NOM	NOMINAL	RECPT	RECEPTACLE	TOW	TOP OF WALL
°	ANGLE	CO	CHANGE ORDER or CLEANOUT	IBC	FIRE EXTINGUISHER CABINET	HWS	HOT WATER HEATER	NRS	NOISE REDUCTION COEFFICIENT	REF	REFRIGERATOR or REFRIGERATED	TPD	TOILET PAPER DISPENSER
@	AT	COL	COLUMN	FDN	FOUNDATION	HWH	HOT WATER HEATER	NTS	NOT TO SCALE	RENF	REINFORCED	TPN	TOILET PARTITION
AV	AUDIO/VISUAL	CONC	CONCRETE	FE	FIRE EXTINGUISHER	HWH	HOT WATER HEATER	OA	OVERALL	REDD	REQUIRED	TS	TUBE STEEL
AB	ANCHOR BOLT	CONF	CONFERENCE	IBC	FIRE EXTINGUISHER CABINET	HWY	HIGHWAY	OC	ON CENTER	RES	RESILIENT	TV	TELEVISION
ABV	ABOVE	CONN	CONNECTION	FF	FINISHED FLOOR	ID	INSIDE DIAMETER	OD	OUTSIDE DIAMETER	REV	REVISE, REVISED or REVISION(S)	UR	URINAL
ACOUS	ACCOUSTICAL	CONSTR	CONSTRUCTION	FFL	FINISHED FLOOR LINE	IN	INCHES	OF	OUTSIDE FACE	RF	RESILIENT FLOORING	USGS	U.S. GEOLOGICAL SURVEY
ACT	ACCOUSTICAL CEILING TILE	CONT	CONTINUOUS	FH	FIRE HYDRANT	INCLD	INCLUDE	OFF	OFFICE	RFG	ROOFING	V	VOLT
AD	AREA DRAIN or ACCESS DOOR	CONTR	CONTRACTOR	FI	FIRE HOSE CABINET	INCLD	INCLUDE	OP	OPPOSITE HAND	REFL	REFLECTED	UNFN	UNFINISHED
ADD	ADDENDUM	CORR	CORRIDOR or CORRUGATED	FHMS	FLAT HEAD MACHINE SCREW	INFO	INFORMATION	OPNG	OPENING	RH	RIGHT HAND	UCON	UNFINISHED
ADJ	ADJACENT or ADJUSTABLE	CPT	CARPET	FHV	FIRE HOSE VALVE	INSUL	INSULATION or INSULATED	OPP	OPPOSITE	RL	RAIN LEADER	UR	URINAL
AFF	ABOVE FINISHED FLOOR	CTR	CERAMIC TILE	FHWS	FLAT HEAD WOOD SCREW	INT	INTERIOR	OTO	OUTSIDE-TO-OUTSIDE	RM	ROOM	USGS	U.S. GEOLOGICAL SURVEY
AGG	AGGREGATE	CTR	COUNTER	FIN	FINISHED	INTMED	INTERMEDIATE	P	PAINTED	RO	ROUGH OPENING	V	VOLT
AHU	AIR HANDLING UNIT	CJ	CUBIC	FIXT	FIXTURE	INV	INVERT	PL	PROPERTY LINE	ROD	ROOF OVERFLOW DRAIN	VAR	VARY or VARIES
ALT	ALTERNATE	CY	CUBIC YARD	FLG	FLASHING	JC	JANITOR CLOSET	PAC	PREVIOUSLY AWARDED CONTRACT	ROW	RIGHT OF WAY	VB	VAPOR BARRIER
ALUM	ALUMINUM	DAMP	DAMP-PROOFING	FLR	FLOORING	JST	JOIST	PAR	PARALLEL	RFM	REVOLUTIONS PER MINUTE	VCT	VINTL COMPOSITION TILE
ANOD	ANODIZED	DBL	DOUBLE	FLUOR	FLUORESCENT	JT	JOINT	PAR	PARALLEL	RVS	REVERSE (SIDE)	VENT	VENTILATION
APPROX	APPROXIMATE	DEG	DEGREE	FOC	FACE OF CONCRETE	KD	KNOCKDOWN	PC	PROVIDED BY OTHERS	RWC	RAIN WATER CONDUCTOR	VER	VERIFY
ARCH	ARCHITECTURAL	DEMO	DEMOLISH or DEMOLITION	FOM	FACE OF MASONRY	KIT	KITCHEN	PC	PREGAST	S	SOUTH or SEALED	VERT	VERTICAL
ASI	ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS	DEPT	DEPARTMENT	FOS	FACE OF STUD	KN	KNOCKOUT	PERF	PERFORATED	SC	SOLID CORE	VEST	VESTIBULE
ASPH	ASPHALT	DF	DRINKING FOUNTAIN	FOS	FACE OF STUD	KP	KICK PLATE	PERM	PERIMETER	SCHED	SCHEDULE	VIF	VERIFY IN FIELD
AUTO	AUTOMATIC	DIA	DIAMETER	FRP	FIBERGLASS REINFORCED PLATE	LAB	LABORATORY	PL	PLATE	SD	SOAP DISPENSER	VINL	VINYL or SHEET VINYL
AVE	AVENUE	DM	DIMENSION	LAV	LAVATORY	LAM	LAMINATE	PL	PLATE	SEC	SECTION	VOL	VOLUME
AVG	AVERAGE	DISP	DISPENSER	LAV	LAVATORY	LAM	LAMINATE	PL	PLATE	SF	SQUARE FEET	VTR	VENT THROUGH ROOF
AWP	ACOUSTICAL WALL PANEL	DIV	DIVISION	FT	FOOT (FEET)	LEB	LEADER	PLB	PLUMBING	SHT	SHEET	WVC	VINYL WALL COVERING
B	BASE	DN	DOWN	FT	FOOT (FEET)	LH	LEFT HAND	PLY	PLYWOOD	SHTG	SHEATHING	W	WHERE OCCURS
B.O.	BOTTOM OF	DR	DOOR	FURN	FURNISHED	LHR	LOCKER	PNL	PANEL	SHWR	SHOWER	W	WITH
B.O.F.	BY OWNER, FUTURE	LRR	LEAKING or LEAKING	LP	LIGHTING PANEL or LIGHT PROOF	LP	LIGHT	PNL	PANEL	SIM	SIMILAR	WC	WATER CLOSET
BD	BOARD	DLT	DETAIL	LUT	LIGHT	PR	PAIR or PROPOSAL REQUEST	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
BIT	BIFURCIOUS	DWG	DRAWING	PVC	PURIFIED VALVE CABINET	LT	LIGHT	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
BLDG	BUILDING	DWR	DRAWER	GA	GALVANIZED	LTL	LIGHT	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
BLKG	BLOCKING	E	EAST	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
BM	BEAM or BENCH MARK	EA	EACH	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
BOT	BOTTOM	EB	EXPANSION BOLT	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
BOT	BOTTOM	ED	EXHAUST DUCT	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
BRG	BEARING	EG	EDGE OF SLAB	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
BSMT	BASEMENT	EQ	EQUAL	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
C	CAULKING	EJ	EXPANSION JOINT	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
CL	CENTERLINE	EL	ELEVATION	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
CAB	CABINET	ELEC	ELECTRICAL	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
CATV	CABLE TELEVISION	ELEV	ELEVATOR	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
CCD	CONSTRUCTION CHANGE DIRECTIVE	EMER	EMERGENCY	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
CCTV	CLOSED CIRCUIT TELEVISION	ENGR	ENGINEER	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION	EQ	EQUAL	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
CEM	CEMENTITIOUS	ES	EACH SIDE	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
CFL	COUNTERFLASHING	EST	ESTIMATE	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
CG	CORNER GUARD	EW	EACH WAY	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
CIP	CAST IN PLACE	EW	ELECTRIC WATER COOLER	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
CIRC	CIRCUMFERENCE	EW	ELECTRIC WATER HEATER	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW
CJ	CONTROL JOINT	EXT	EXTERIOR	GB	GRAB BAR	LVR	LAVATORY	PRET	PREFABRICATED PREFINISHED	SO	SQUARE	WDO	WINDOW

## GENERAL SYMBOL LEGEND

<b>BUILDING ELEVATION:</b>	<b>DOOR TAG:</b>
<b>INTERIOR ELEVATION:</b>	<b>CEILING TAG:</b>
<b>STRUCTURAL GRID:</b>	<b>WALL TAG:</b>
<b>BUILDING SECTION:</b>	<b>WINDOW TAG:</b>
<b>WALL SECTION:</b>	<b>REVISION TAG:</b>
<b>CALL OUT DETAIL:</b>	<b>ROOF TAG:</b>
<b>SPOT ELEVATION:</b>	<b>SPECIALTY EQUIPMENT TAG:</b>
<b>REVISION TAG:</b>	<b>PLUMBING FIXTURE TAG:</b>
<b>ROOM TAG:</b>	<b>TOILET ACCESSORY TAG:</b>

# HIDEAWAY PARK STAGE

Winter Park, CO, 80482

REVISION	DATE
Design Development	04.01.15

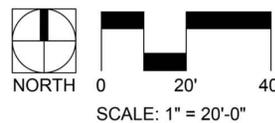
PROJECT NUMBER:	140800
PROJECT DATE:	04.01.2015
SHEET TITLE:	COVER SHEET
SHEET NUMBER:	<b>A0.00</b>

**LEGEND**

-  LIMITS OF CONSTRUCTION
-  PROPOSED EVERGREEN TREE (8-12' HT.) OR RELOCATED, RE: PLAN
-  PROPOSED DECIDUOUS TREE - QUAKING ASPEN (1-1/2" CAL., B&B, CLUMP)
-  EXISTING EVERGREEN TREE TO REMAIN AND PROTECT IN PLACE
-  PROPOSED 6" DEPTH ASPHALT
-  PROPOSED CRUSHER FINES 6" DEPTH (STABILIZED)
-  PROPOSED CONCRETE PAVING (6" DEPTH IN DRIVE AREA & 4" DEPTH IN ALL OTHER LOCATIONS)
-  PROPOSED INTEGRAL COLOR CONCRETE (6" DEPTH IN DRIVE AREA & 4" DEPTH IN ALL OTHER LOCATIONS)
-  PROPOSED SHRUB AREA WITH 4" DEPTH COBBLE MULCH
-  PROPOSED LOCATION OF RELOCATED 4" DEPTH GRAVEL
-  PROPOSED NATIVE SEED
-  PROPOSED SOD
-  PROPOSED SEAT BOULDERS, LANDSCAPE BOULDERS OR BOULDER RETAINING WALL, RE: PLAN
-  PROPOSED BENCH
-  PROPOSED PICNIC TABLES
-  PROPOSED TRASH RECEPTACLE



**1 SITE PLAN**



## ABBREVIATIONS

APPROX	APPROXIMATE	NTS	NOT TO SCALE
ARCH	ARCHITECTURAL	OC	ON CENTER
BLDG	BUILDING	OD	OUTSIDE DIAMETER
BR	BOTTOM OF RAMP	PIP	POURED-IN-PLACE
BS	BOTTOM OF STEP	RE	REFER
BW	BOTTOM OF WALL	REF	REQUIRED
CIP	CAST IN PLACE	ROW	RIGHT OF WAY
CL	CENTER LINE	SAN	SANITARY SEWER
CONC	CONCRETE	SG	SUBGRADE
COORD	COORDINATE	SPEC	SPECIFICATIONS
DIA	DIAMETER	STM	STORM SEWER
DIM	DIMENSION	STR	STRUCTURAL
DWG	DRAWING	TBD	TO BE DETERMINED
(E)	EXISTING	TC	TOP OF CURB
EA	EACH	TR	TOP OF RAMP
EL	ELEVATION	TS	TOP OF STEP
EQ	EQUAL/EQUIVALENT	TW	TOP OF WALL
EX	EXISTING	TYP	TYPICAL
EJ	EXPANSION JOINT	TOS	TOP OF SURFACING
EQUIP	EQUIPMENT		
EWf	ENGINEERED WOOD FIBER		
FG	FINISH GRADE		
FFE	FINISH FLOOR ELEVATION		
FL	FLOW LINE		
FV	FIELD VERIFY		
HP	HIGH POINT		
HT	HEIGHT		
INV	INVERT		
JT	JOINT		
LP	LOW POINT		
MAX	MAXIMUM		
MH	MANHOLE		
MIN	MINIMUM		
MISC	MISCELLANEOUS		

## GENERAL NOTES

1. The Contractor shall be solely responsible for safety in, on or about the project site. Any damage to adjacent property or utilities, not designated for removal, relocation or replacement, shall be repaired and/or replaced by the Contractor at the Contractor's expense.
2. The Contractor shall be responsible for obtaining any permits or licenses required for the performance of the work as applicable to the project.
3. The Landscape Architect/Engineer and/or Owner make no warranty as to the correctness and/or completeness of the existing utility locations shown or not shown on the plans. The Contractor shall be responsible for field verifying the horizontal and vertical location of all existing utilities including water, sewer, storm drains, gas transmission lines, and other utilities above and below the surface that may affect the project. Should discrepancy or conflict be discovered the contractor shall notify the Landscape Architect immediately, and shall not continue construction until said conflict can be resolved in writing.
4. The Contractor shall notify owner and all utility companies at least 48 hours prior to beginning construction to verify depth and location of all utilities.
5. Any construction debris or mud-tracking on the Hideaway Park property and/or in the public right-of-way resulting from the work shall be removed immediately by the Contractor.
6. The Contractor shall provide all lights, signs, barricades, flagmen and other devices necessary to provide for the public safety on and about the site. The Contractor shall furnish appropriate traffic control and safety measures in accordance with the requirements of applicable Highways and Transportation authority.
7. Contractor shall take appropriate measures to protect both on site and adjacent property, trees and vegetation. Areas outside the limits of work as shown on the plans and/or cross sections shall remain undisturbed. Any items not intended for demolition must be protected. Any damage will be repaired at Contractor's expense.
8. Contractor shall field verify and examine all existing conditions prior to bidding or performing any construction operation.
9. Refer to Civil for SWMP, grading & utility plans.
10. Report any discrepancies immediately to the Landscape Architect, Design Concepts, 211 North Public Road, Suite 200, Lafayette, Colorado 80026, 303/664/5301.

**HIDEAWAY PARK STAGE**

Winter Park, CO, 80482

REVISION DATE

PROJECT NUMBER: 140800  
PROJECT DATE: 01.12.2015

SHEET TITLE:

GENERAL NOTES &  
ABBREVIATIONS

SHEET NUMBER:

**G1.0**



**LEGEND**

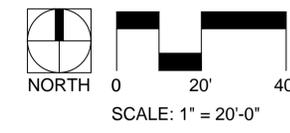
-  TREE PROTECTION FENCING
-  LIMITS OF CONSTRUCTION / 6' HT. CHAIN LINK CONSTRUCTION FENCE
-  CLEAR & GRUB
-  REMOVE AND DISPOSE OF CONCRETE PAVING
-  EXISTING GRAVEL TO BE REMOVED, STOCKPILED AND RE-USED. DISPOSE OF ANY UNUSED GRAVEL.
-  PROTECT-IN-PLACE EXISTING TREE
-  EXISTING TREE TO BE RELOCATED
-  EXISTING 1' CONTOUR

**DEMOLITION NOTES**

1. Provide tree protection fence around all existing trees/vegetation to remain per specifications. No grading is to take place within tree protection fences. Refer to 1/L2.0 for tree protection detail.
2. Contractor responsible for locating all utilities prior to construction.
3. Coordinate with Owner on all unidentified existing items to determine if they should be removed, relocated, or protected in place.
4. Contractor to give Owner minimum 2 weeks (10 business days) notice prior to beginning demolition for removal of items from the site.
5. This plan is intended as a guideline for demolition. Landscape Architect makes no warranty as to the completeness or extent of items to be removed. Contractor to refer to all other drawings to verify those elements to be replaced. Some items to be repaired or replaced are shown only on the construction drawings.
6. Clear and grub areas as necessary for improvement work including but not limited to flatwork and landscape areas.
7. Hand dig within drip line of existing trees.
8. Contractor shall clear and grub the area disturbed by grading. Debris, vegetation, stumps, roots and other materials not suitable for backfill shall be removed from the site and disposed of by the Contractor.
9. Contractor shall remove all debris from demolition operations on a daily basis.
10. Stockpile all boulders encountered on-site during demolition.
11. Refer to Civil Engineer for Erosion Control information.
12. Contractor shall protect all items to be salvaged on site.
13. 6' ht. construction fence shall remain up the entire duration of construction, including the wheel park construction by others.
14. Contractor shall provide fencing, signage, baracades, and trail detour information for the trail along the creek as necessary for public safety during construction operations. Coordinate all trail closures/detours with owner for approval.



**1 EXISTING CONDITIONS AND DEMOLITION PLAN**



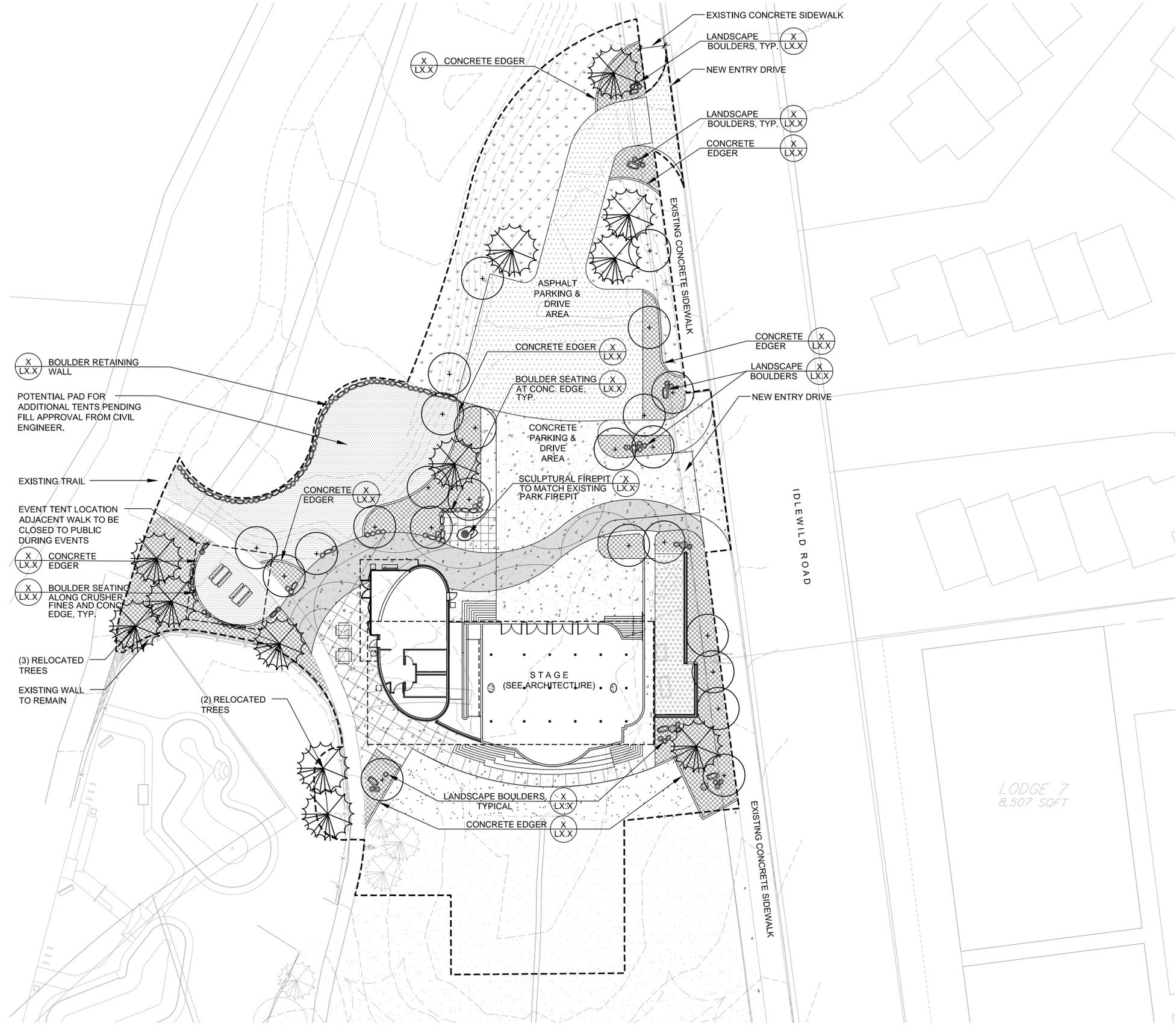


**LEGEND**

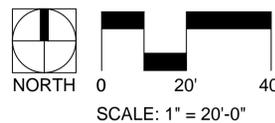
- LIMITS OF CONSTRUCTION
- PROPOSED EVERGREEN TREE (8-12' HT.) OR RELOCATED, RE: PLAN
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- PROPOSED SHRUB AREA WITH 4" DEPTH COBBLE MULCH
- PROPOSED LOCATION OF RELOCATED 4" DEPTH GRAVEL
- PROPOSED NATIVE SEED
- PROPOSED SOD
- PROPOSED SEAT BOULDERS, LANDSCAPE BOULDERS OR BOULDER RETAINING WALL, RE: PLAN
- PROPOSED BENCH
- PROPOSED PICNIC TABLES
- PROPOSED TRASH RECEPTACLE

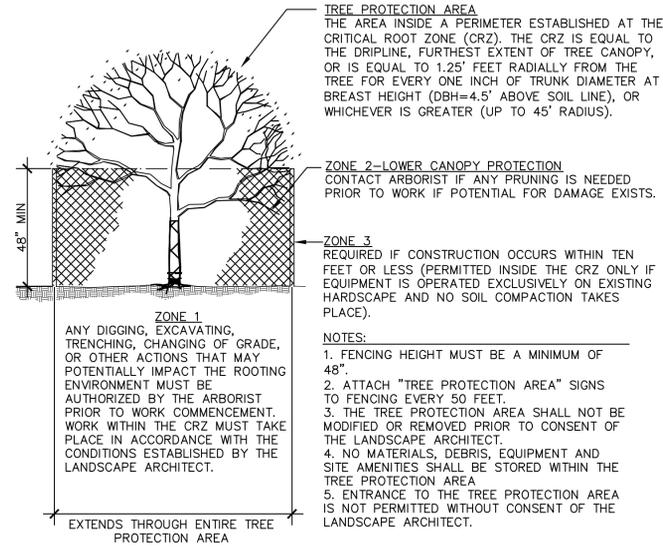
**SITE NOTES**

1. All dimensions shall be field verified by contractor prior to construction. Any deviation from these plans must be approved by landscape architect prior to construction.
2. Prior to excavation, underground utilities must be field verified.
3. See Civil for additional control points, monuments, benchmarks, and horizontal control.
4. All site improvements (picnic tables, benches, trash receptacles, etc.) must be field surveyed and staked by contractor. Landscape Architect shall approve staked location of improvements prior to installation.
6. Additional layout information will be provided to the contractor prior to construction, as necessary. Landscape architect will provide digital files of the site plan in AutoCAD. Allow 48 hours after request for delivery of files.

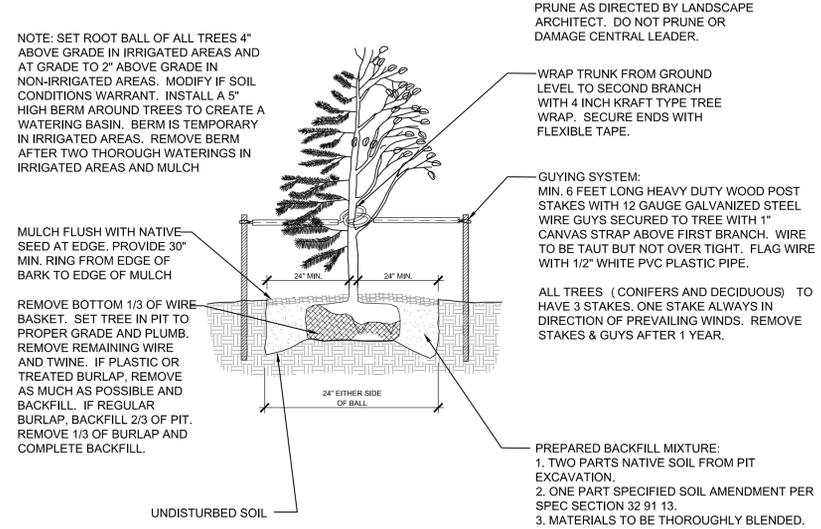


**1 SITE PLAN**

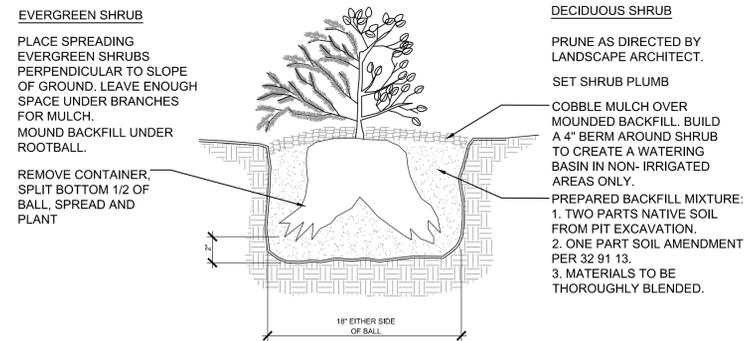




**1 TREE PROTECTION**  
Scale: NOT TO SCALE



**2 TREE PLANTING**  
Scale: NOT TO SCALE



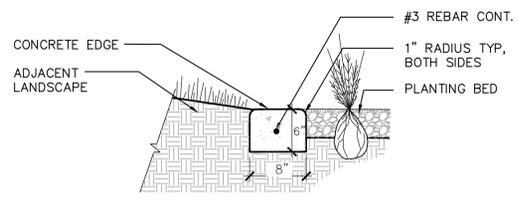
**3 SHRUB PLANTING**  
Scale: NOT TO SCALE

**PLANTING NOTES**

- Native seed shall be 1-1/2" lower than adjacent paving grade or edger except in the center of a swale where drainage would be impeded.
- All planting beds are to be mulched with 4" depth 2"-4" cobble mulch.
- Any plant substitutions are to be approved by Landscape Architect prior to installation.
- Provide 1" screened topsoil in seeded areas.
- All finished grades shall be approved by Landscape Architect prior to installation of seed or any other plant material.
- Contractor shall coordinate irrigation and planting work such that installed irrigation equipment shall not cause adjustment of planting locations contrary to the plans. If irrigation equipment is installed in locations obstructing the intended locations of plantings, the irrigation equipment shall be relocated.
- New trees shall be planted a minimum of 8' from walks, paths and edges, unless otherwise directed by Landscape Architect. No trees shall be planted above irrigation lines or underground utilities.
- All trees shall be located a minimum of 10' off the flowline of the curb, a minimum of 10' off any utility.
- All existing landscape, irrigation equipment, concrete or site features, on or off the site disturbed by construction operations shall be repaired and restored by the contractor to the Owner's standards or original condition.
- All plant material shall be staked or placed by the contractor and observed by the Landscape Architect prior to planting operations. All plant material shall be observed and approved by the Landscape Architect prior to installation. Final location of all plant material shall be subject to the approval of the landscape architect.
- Contractor shall hand dig all planting pits adjacent to utilities. If utilities are damaged repairs shall be made at the contractor's expense.
- If conditions do not allow strict conformance to the notes, details and specifications, the contractor shall request approval from the Landscape Architect before performing work in an alternative manner.

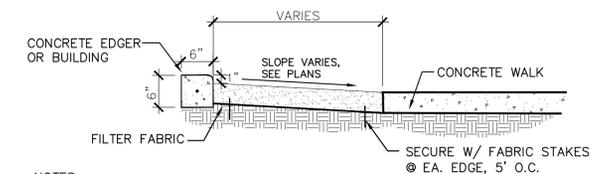


**PHOTO OF EXISTING PARK FIRE PIT**  
NOTES:  
1. NEW SCULPTURAL FIRE PIT TO MATCH THE EXISTING PARK FIRE PIT.



NOTE:  
1. PROVIDE CONTROL JOINTS AT 8' O.C., OR WHERE CONCRETE EDGE ABUTS JOINTS OF PAVING OR STRUCTURES.  
2. TOP OF CONCRETE EDGE TO BE THE FOLLOWING DIMENSION ABOVE TOP OF ADJACENT MATERIAL:  
- 1.5" ABOVE SEED  
- FLUSH WITH CONCRETE OR CRUSHER FINES PAVING

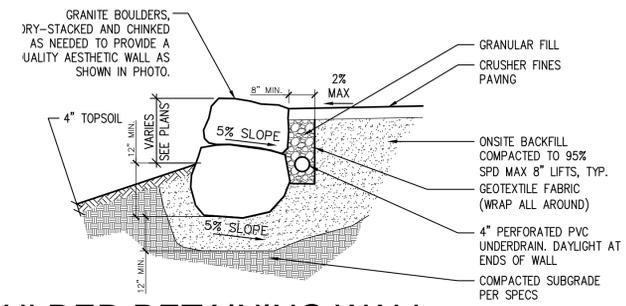
**1 CONCRETE EDGE**  
Scale: 1" = 1'-0"



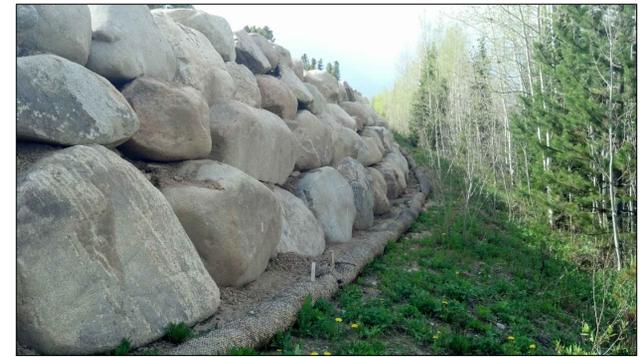
NOTES:  
1. INSTALL CRUSHER FINES IN 4" TRENCH. FINES TO BE COMPACTED UNTIL MATERIAL IS FIRMLY LOCKED TOGETHER. MATERIALS SHALL BE A MIN. OF 4" DEEP AFTER COMPACTION. CROSS SLOPE SHALL BE 2% W/ NO DEPRESSIONS TO COLLECT WATER.

**2 CRUSHER FINES PAVING**  
NOT TO SCALE

**3 SCULPTURAL FIRE PIT**  
NOT TO SCALE

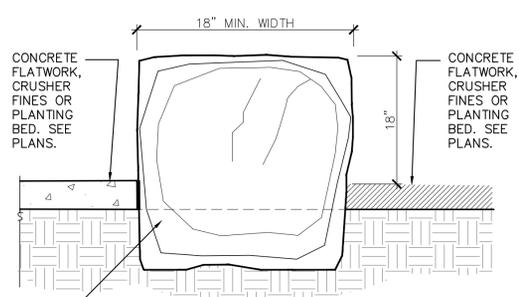


**BOULDER RETAINING WALL NOTES:**  
1. Landscape Architect shall approve boulder material prior to delivery to project site.  
2. Contractor shall provide in-place sample of min. 10 linear feet of wall for approval by landscape architect prior to proceeding with work.  
3. Boulder site wall was designed and shall be constructed in conformance with FHWA-CFL/TD-06-006 - "Rockery Design and Construction Guidelines".  
4. Rocks shall be in accordance with FP-03 - "Standard Specifications for Construction of Roads and Bridges on Federal Highway Projects", Section 705.02, Rip Rap Rock, which includes the following minimum properties:  
a. Specific gravity greater than or equal to 2.5  
b. Absorption less than or equal to 4.2%  
c. Coarse durability index greater than or equal to 50  
5. The rocks shall be hard, angular and durable and shall resist physical, climatic and chemical decomposition. Rocks shall be roughly rectangular, tabular, or cubic in shape. Rounded rocks and cobbles shall not be used. The rocks shall consist of intact blocks without open fractures, foliation, or other planes of weakness.  
6. Place each rock individually by equipment suitable for lifting, manipulating, and placing rocks of the size and shape specified. Ensure that each rock is firmly set and supported by underlying materials and adjacent rocks. Reposition or replace loose rocks.  
7. A maximum tolerance of 6 inches may be applied toward the total base rock width. Where the minimum base width cannot be met, a double wythe course of two approx. equal sized base rocks in may be used, provided rocks are in contact at two points or more. Do not consecutively place base rocks with widths less than what is required. Bottom of base rock longitudinal slope shall not exceed 10H:1V in the direction of the wall.



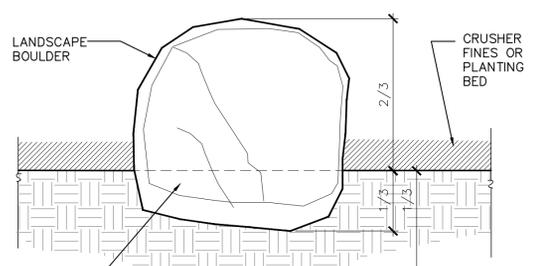
**EXAMPLE OF BOULDER WALL CRAFTSMANSHIP**

**4 BOULDER RETAINING WALL**  
Scale: 1" = 1'-0"



NOTES:  
1. BOULDERS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.  
2. ALL BOULDERS TO BE SILOAM SANDSTONE (SIENNA BUFF), SNAPCUT FOUR SIDES.  
3. KNOCK OFF OR SMOOTH ALL SHARP EDGES.  
4. ENSURE APPROXIMATELY 1/3 OF BOULDER IS BURIED BELOW TOP OF FINISHED GRADE. SET BOULDER AS SHOWN IN ELEVATION.  
5. ENSURE BOULDER IS SET TO PROVIDE 18" SEAT HEIGHT ABOVE FINISHED SURFACING.  
6. PLACE FOAM AROUND BASE OF BOULDER WHERE ADJACENT TO CONCRETE. COVER BOULDER IN PLASTIC FOR PROTECTION. POUR CONCRETE UP TO BOULDERS, REMOVE PLASTIC, CUT FOAM, AND CAULK BETWEEN BOULDER AND CONCRETE.  
7. LENGTH OF BOULDERS TO VARY, HOWEVER EXPOSED BOULDER HT. & WIDTH DIMENSIONS TO BE 18"W. MIN. X 18"H.T.

**5 SEAT BOULDER**  
NOT TO SCALE



NOTES:  
1. BOULDERS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.  
2. KNOCK OFF OR SMOOTH ALL SHARP EDGES.  
3. ENSURE APPROXIMATELY 1/3 OF BOULDER IS BURIED BELOW TOP OF FINISHED GRADE. SET BOULDER AS SHOWN IN ELEVATION.  
4. LANDSCAPE BOULDERS TO VARY IN SIZE FROM APPROXIMATELY 3'Hx3'Lx2'W TO 3'Hx4'Lx4'W  
5. LOCATE BOULDERS AS SHOWN ON PLANS.

**6 LANDSCAPE BOULDER**  
NOT TO SCALE

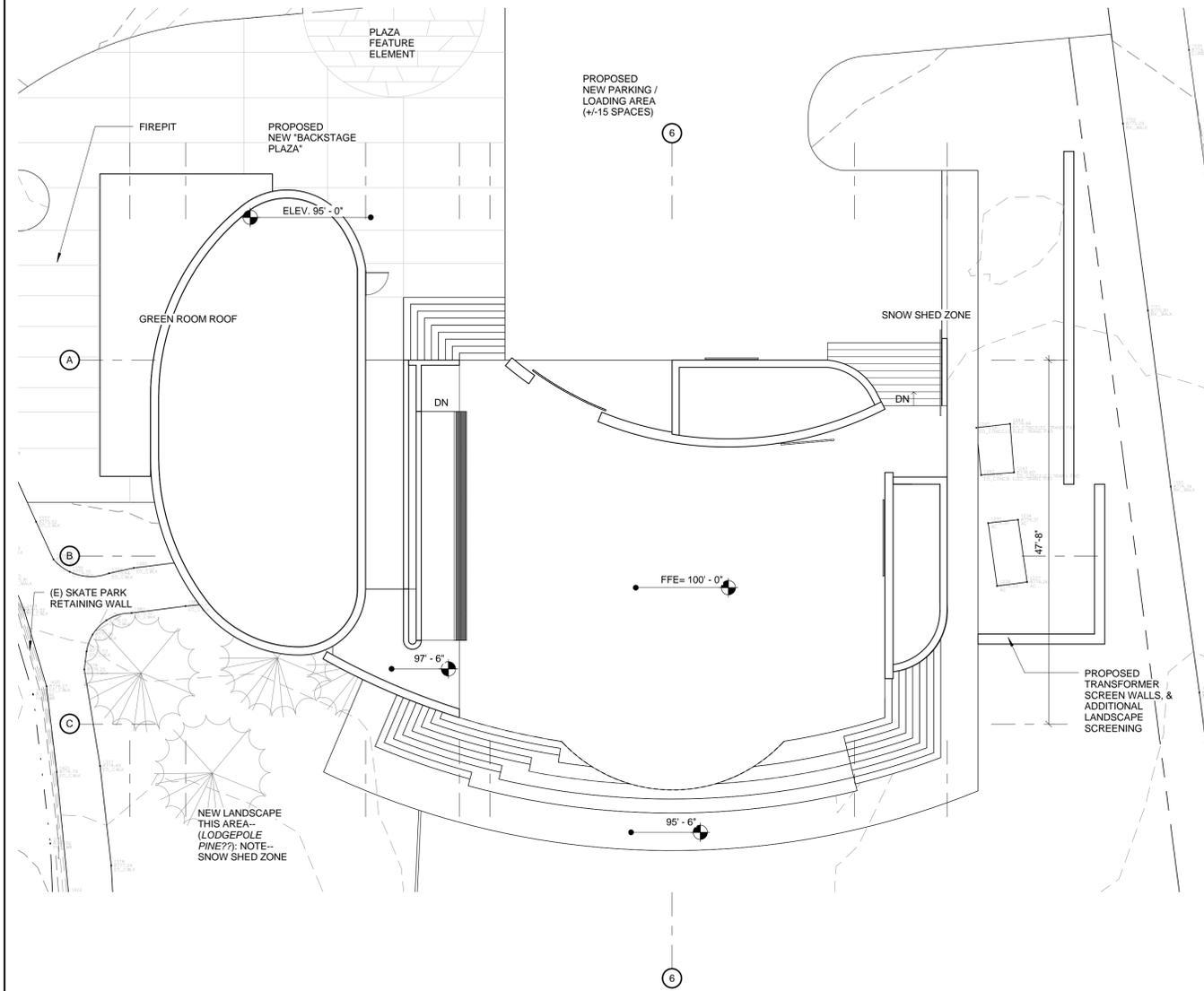
**HIDEAWAY PARK STAGE**  
 Winter Park, CO, 80482

REVISION	DATE
Design Development	04.01.15

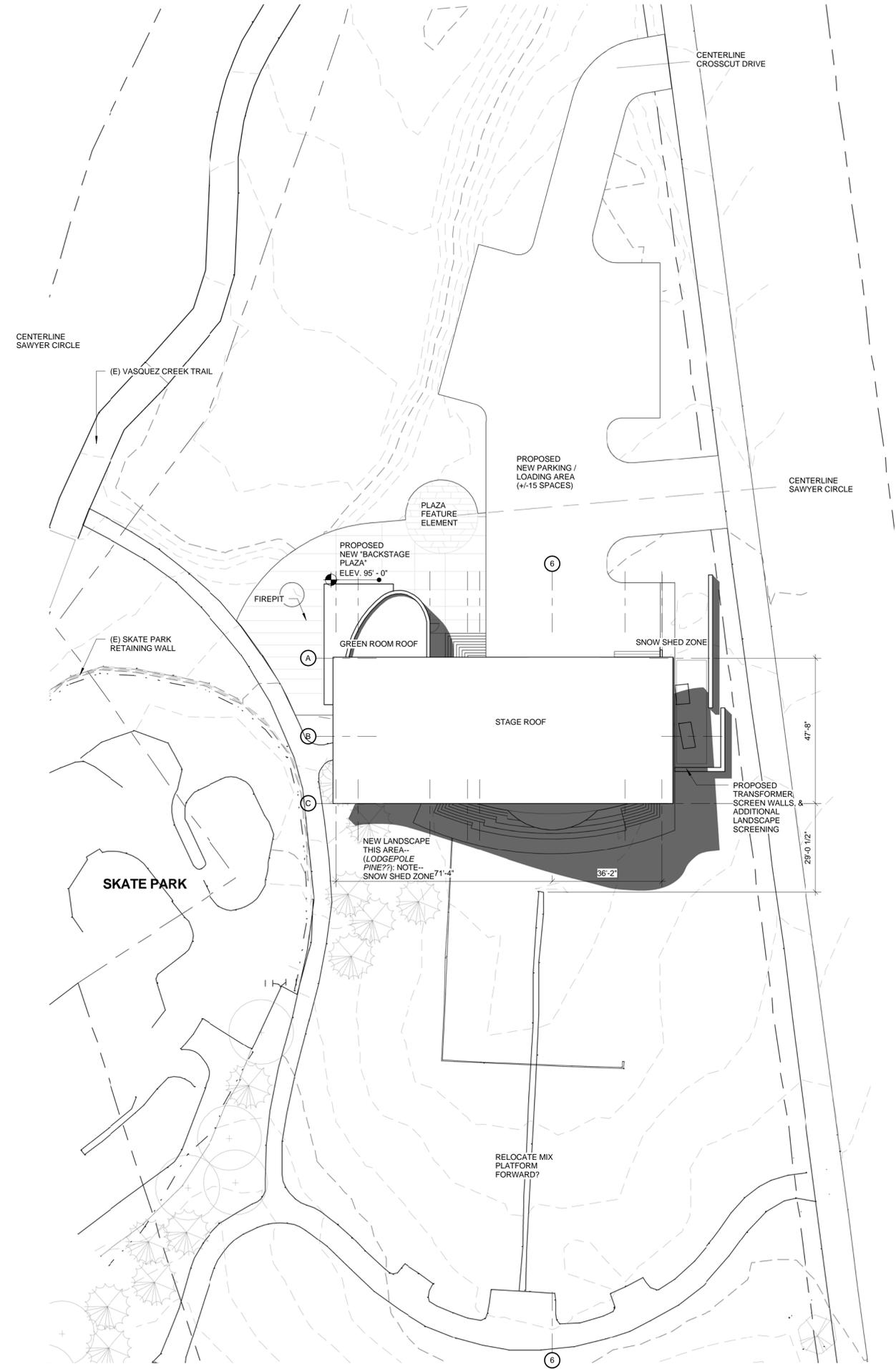
PROJECT NUMBER: 140800  
 PROJECT DATE: 04.01.2015

SHEET TITLE: ARCHL SITE PLAN

SHEET NUMBER: **A0.01**



**2 ENLARGED SITE PLAN**  
 1" = 10'-0"



**1 SITE / ROOF PLAN**  
 1" = 20'-0"

FLOOR PLAN GENERAL NOTES:

**SEMPLER  
BROWN**

ARCHITECTS AND DESIGNERS

P 303.571.4137  
F 303.571.0403

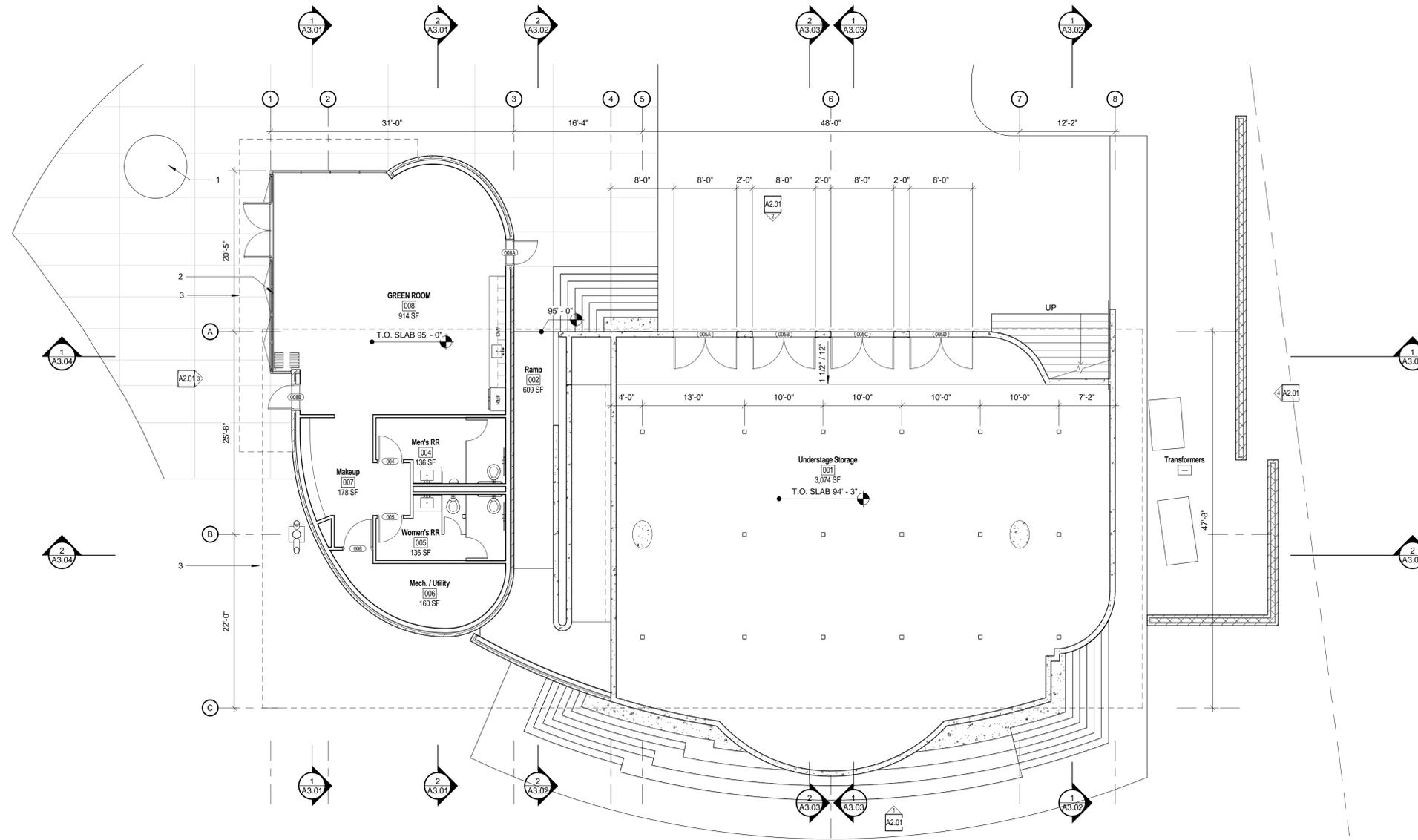
1160 SANTA FE DRIVE  
DENVER, CO 80204

SEMPLERBROWN.COM

FLOOR PLAN WORK NOTES

- 1 FIRE PIT IN PLAZA PAVING
- 2 FOLDING GLASS WALL: "NANAWALL" OR EQUAL
- 3 ROOF(S) ABOVE

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FLOOR PLAN-BACKSTAGE  
LEVEL

1  
1/8" = 1'-0"

**HIDEAWAY PARK STAGE**  
Winter Park, CO, 80482

REVISION	DATE
Design Development	04.01.15

PROJECT NUMBER: 140800  
PROJECT DATE: 04.01.2015

SHEET TITLE:  
FLOOR PLAN-BACKSTAGE  
LEVEL

SHEET NUMBER:

**A1.00**

FLOOR PLAN GENERAL NOTES:

FLOOR PLAN WORK NOTES

- 1 FIRE PIT IN PLAZA PAVING
- 2 FOLDING GLASS WALL: "NANAWALL" OR EQUAL
- 3 ROOF(S) ABOVE

**SEMPLER  
BROWN**

ARCHITECTS AND DESIGNERS

P 303.571.4137  
F 303.571.0403

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**HIDEAWAY PARK STAGE**  
Winter Park, CO, 80482

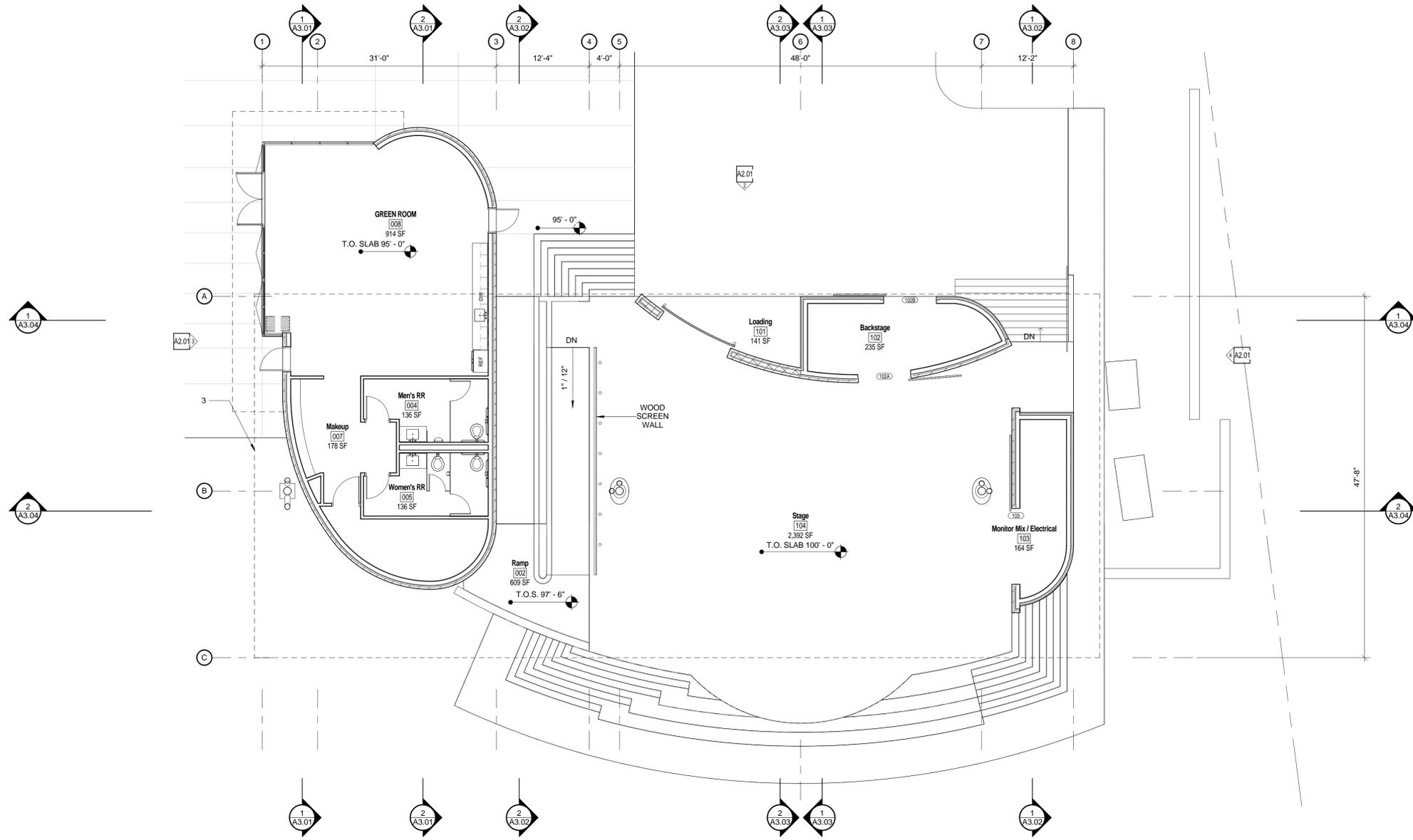
REVISION	DATE
Design Development	04.01.15

PROJECT NUMBER: 140800  
PROJECT DATE: 04.01.2015

SHEET TITLE:  
STAGE LEVEL FLOOR PLAN

SHEET NUMBER:

**A1.01**



**FLOOR PLAN-STAGE LEVEL**  
1 1/8" = 1'-0"

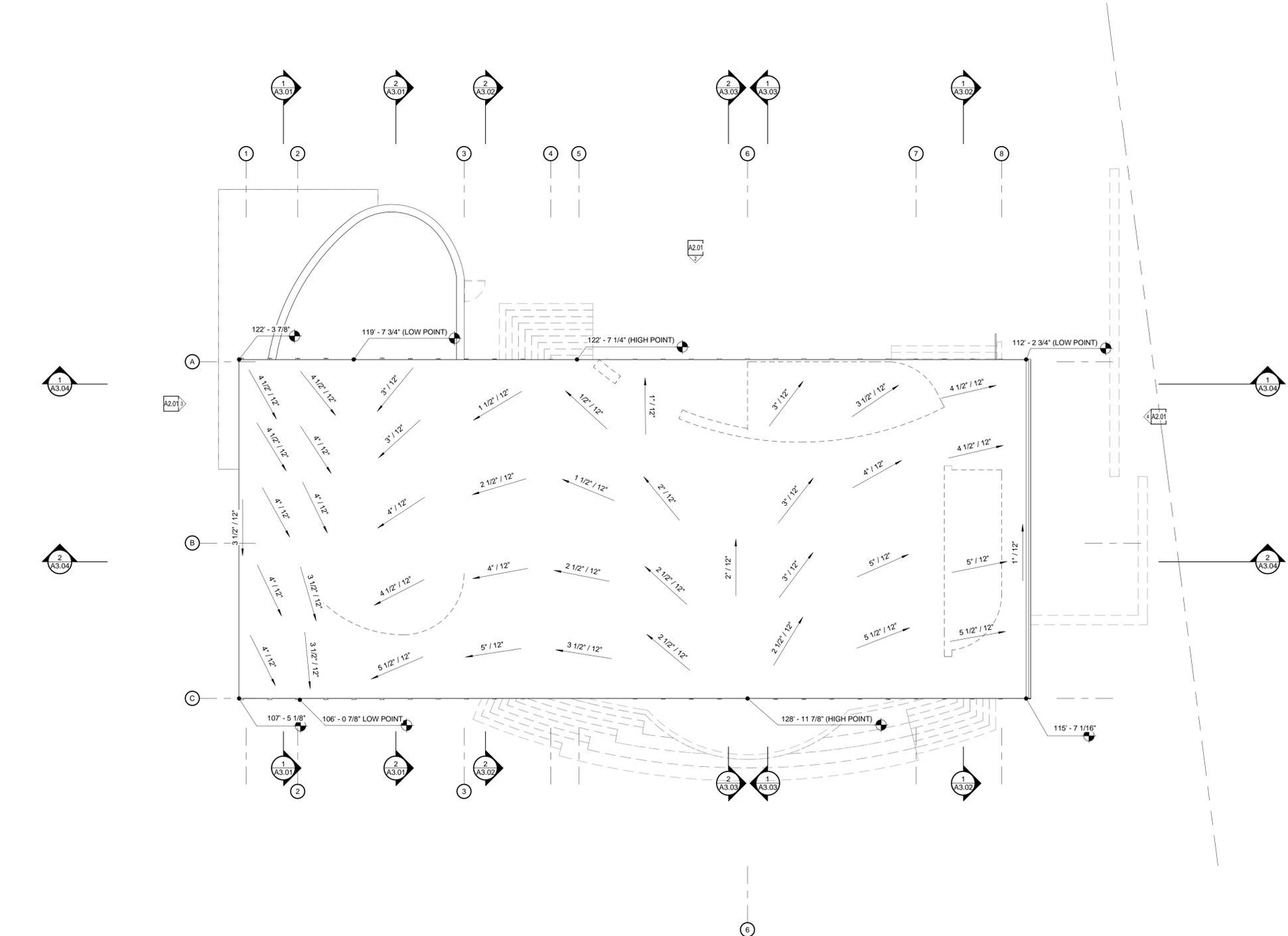
**HIDEAWAY PARK STAGE**  
Winter Park, CO, 80482

REVISION	DATE
Design Development	04.01.15

PROJECT NUMBER: 140800  
PROJECT DATE: 04.01.2015

SHEET TITLE: ROOF PLAN

SHEET NUMBER: **A1.02**



**1 ROOF PLAN**  
1/8" = 1'-0"

REVISION	DATE
Design Development	04.01.15

**LIGHTING LEGEND:**

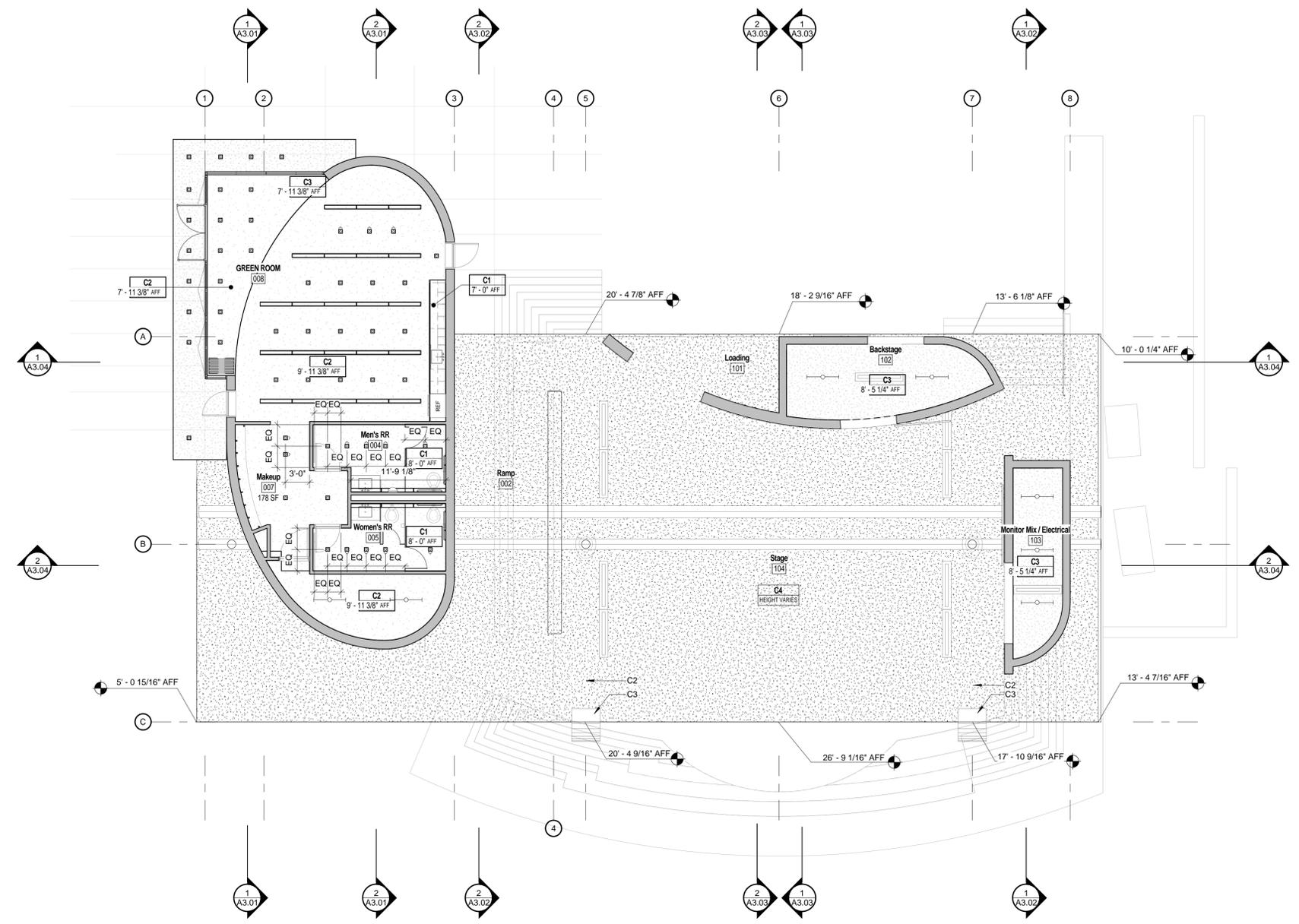
-  CEILING MOUNTED - RECESSED, ADJUSTIBLE LED DOWNLIGHT
-  CEILING MOUNTED - RECESSED, LENSED LED WALL WASHER
-  CEILING MOUNTED - PENDANT
-  CEILING MOUNTED - RECESSED, LINEAR, LENSED FLOURESCENT STRIP
-  CEILING MOUNTED - SURFACE MOUNTED FLOURESCENT STRIP
-  WALL MOUNTED - SCNCE
-  WALL MOUNTED - RECESSED LIGHT
-  WALL MOUNTED - VANITY LIGHT
-  SURFACE MOUNTED - LED TAPE LIGHT
-  RADIANT HEATER - CEILING MOUNTED - (RECESSED, BRACKETS, OR SUFCE "TBD") RADIANT HEATER

**CEILING TYPES:**

-  C1  
XX'XX' AFF
-  C2  
XX'XX' AFF
-  C3  
XX'XX' AFF
-  C4  
HEIGHT VARIES

**REFLECTED CEILING PLAN NOTES**

- C2 MOUNTING POINT FOR LIGHTING TRUSS (BY OTHERS)
- C3 SPEAKER ARRAY (BY OTHERS)



**CEILING PLAN-STAGE / BACKSTAGE LEVEL**  
1/8" = 1'-0"

**HIDEAWAY PARK STAGE**  
Winter Park, CO, 80482

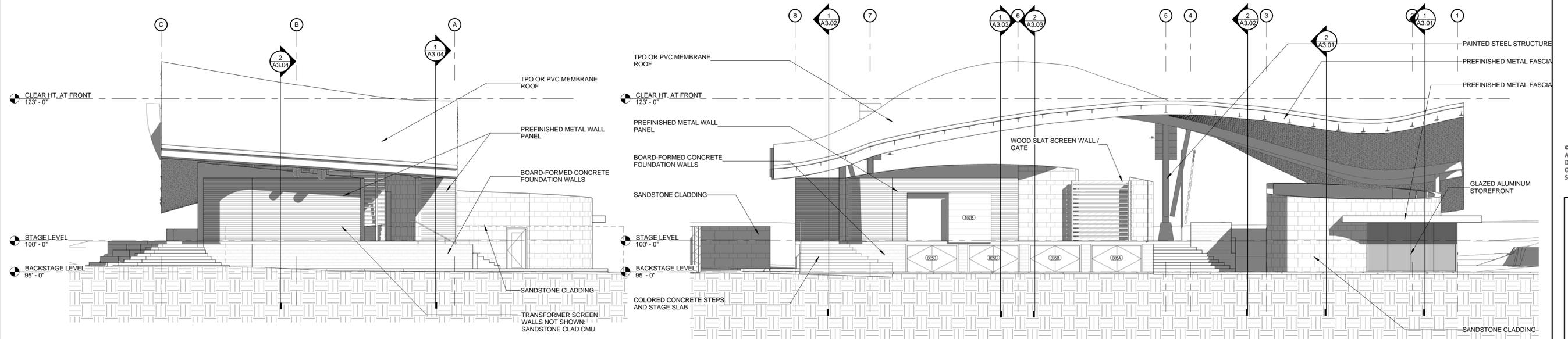
REVISION	DATE
Design Development	04.01.15

PROJECT NUMBER: 140800

PROJECT DATE: 04.01.2015

SHEET TITLE: ELEVATIONS-BUILDING

SHEET NUMBER: **A2.01**



**4 East Elevation**  
1/8" = 1'-0"

**2 North Elevation**  
1/8" = 1'-0"

**3 West Elevation**  
1/8" = 1'-0"

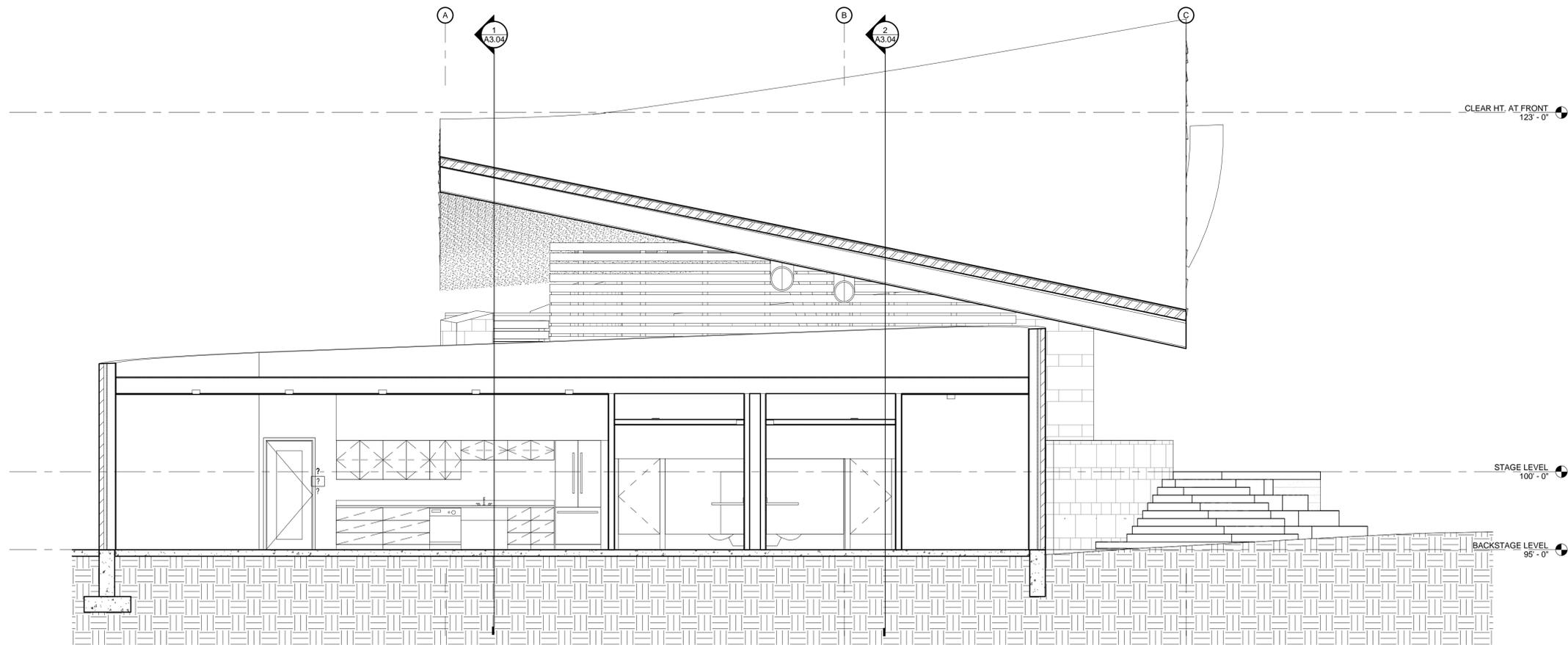
**1 South Elevation**  
1/8" = 1'-0"

REVISION	DATE
Design Development	04.01.15

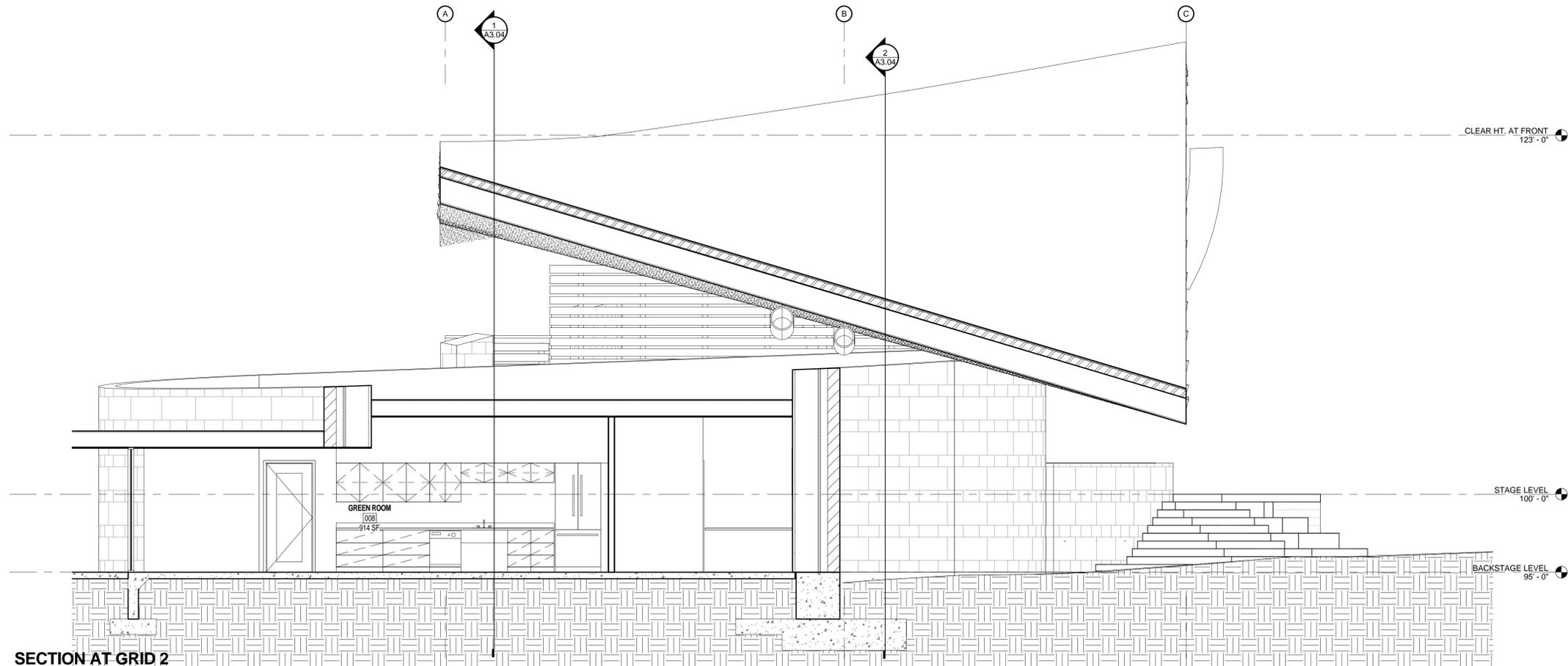
PROJECT NUMBER: 140800  
 PROJECT DATE: 04.01.2015

SHEET TITLE:  
 SECTIONS-BUILDING

SHEET NUMBER:  
**A3.01**



**SECTION AT GRID 2.5  
 LOOKING EAST**  
 ② 1/4" = 1'-0"



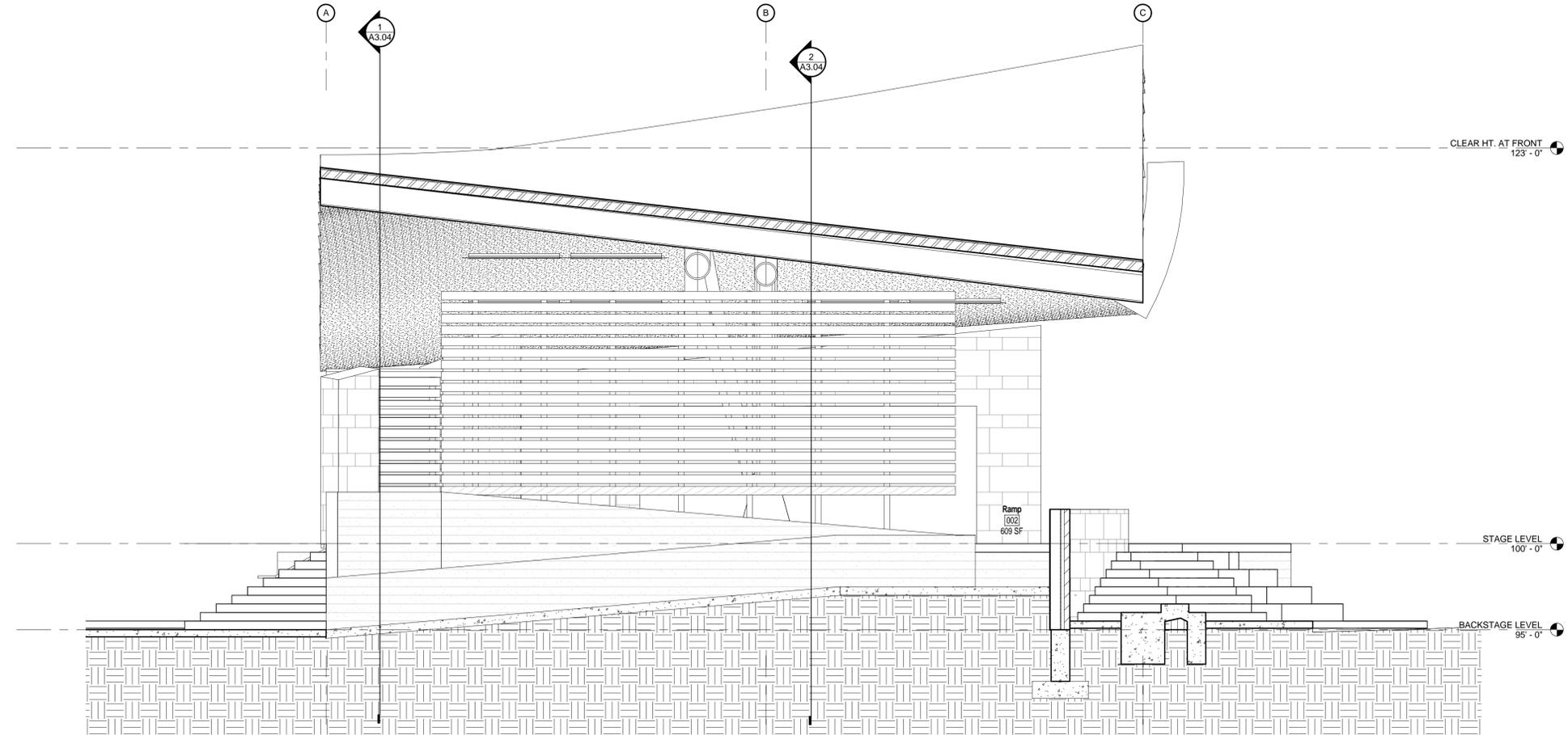
**SECTION AT GRID 2  
 LOOKING EAST**  
 ① 1/4" = 1'-0"

REVISION	DATE
Design Development	04.01.15

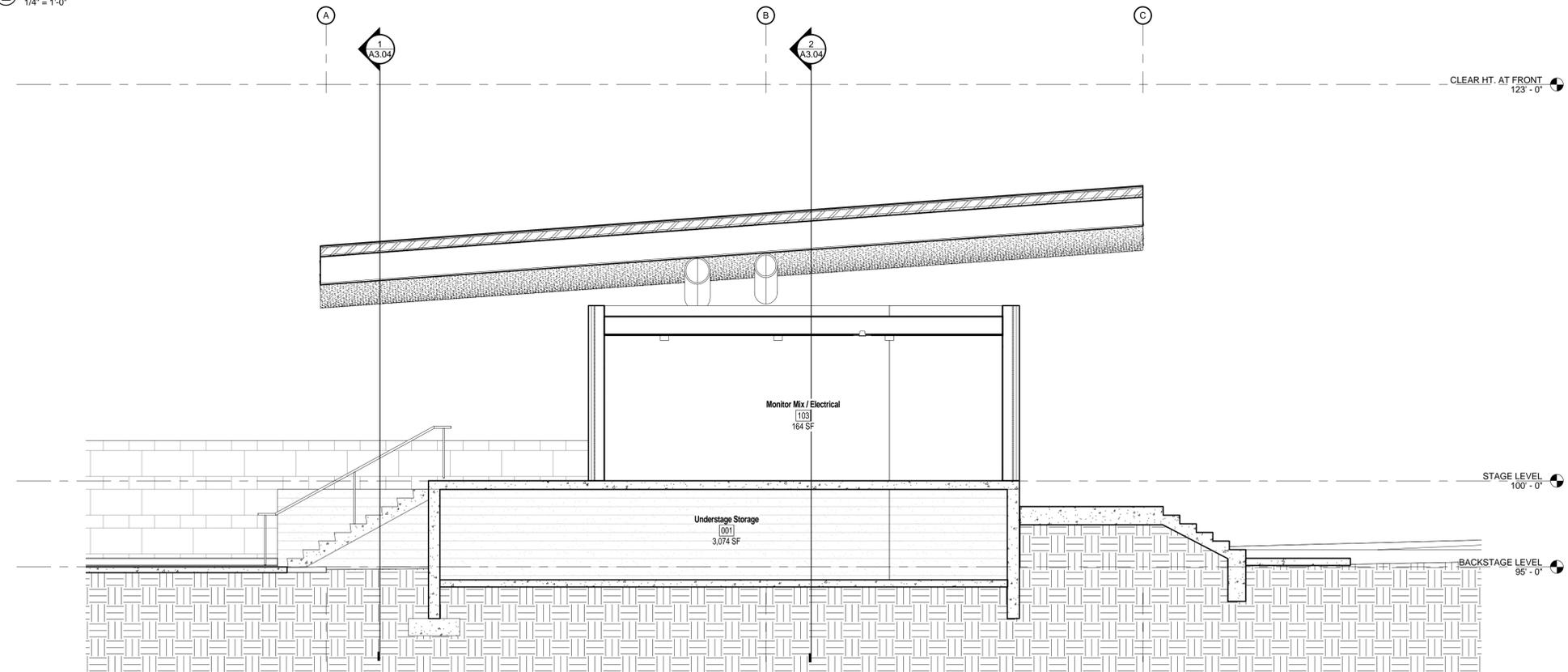
PROJECT NUMBER: 140800  
 PROJECT DATE: 04.01.2015

SHEET TITLE:  
 SECTIONS-BUILDING

SHEET NUMBER:  
**A3.02**



**SECTION AT RAMP  
 LOOKING EAST**  
 ② 1/4" = 1'-0"



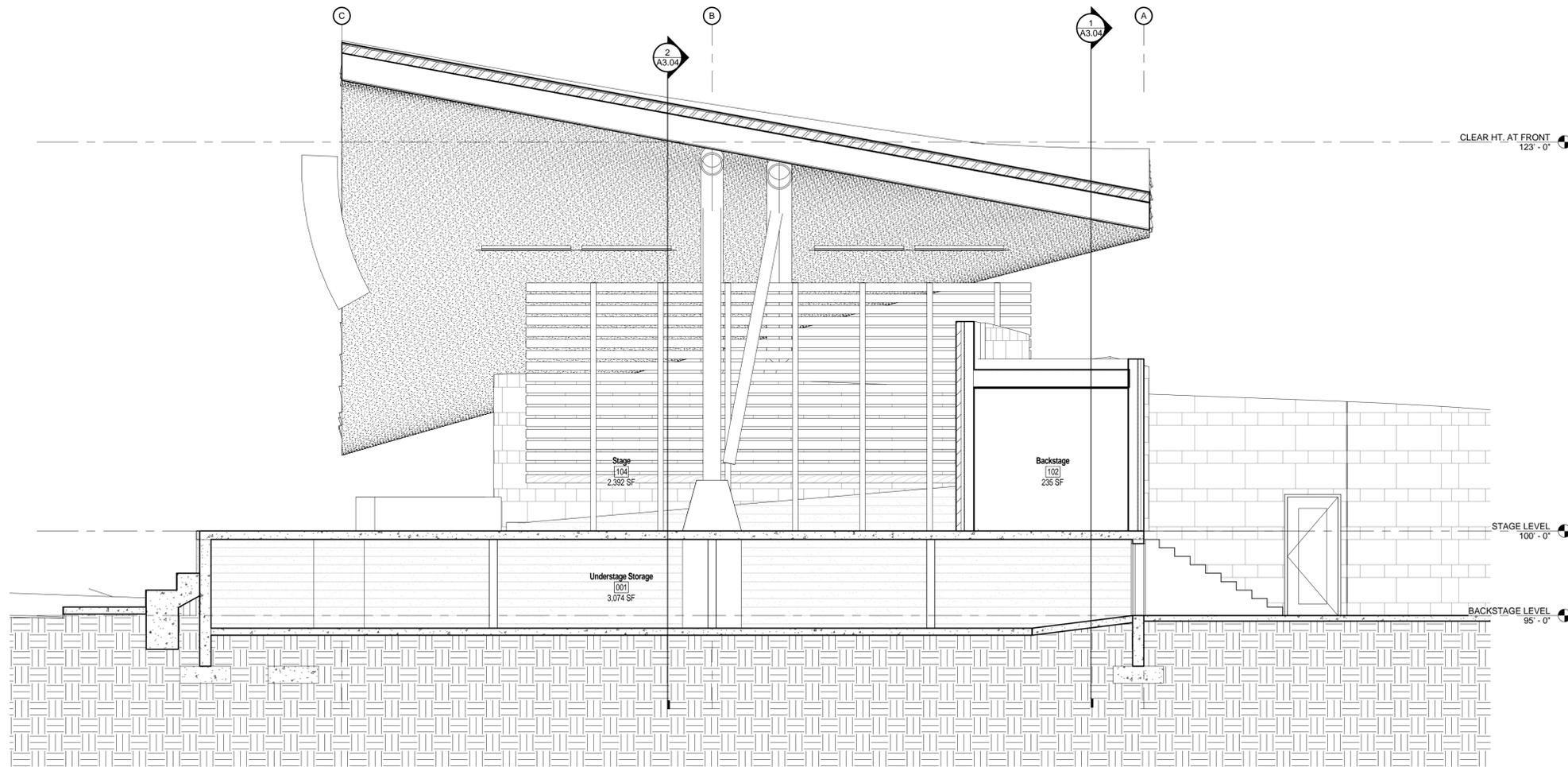
**SECTION AT GRID 3  
 LOOKING EAST**  
 ① 1/4" = 1'-0"

REVISION	DATE
Design Development	04.01.15

PROJECT NUMBER: 140800  
 PROJECT DATE: 04.01.2015

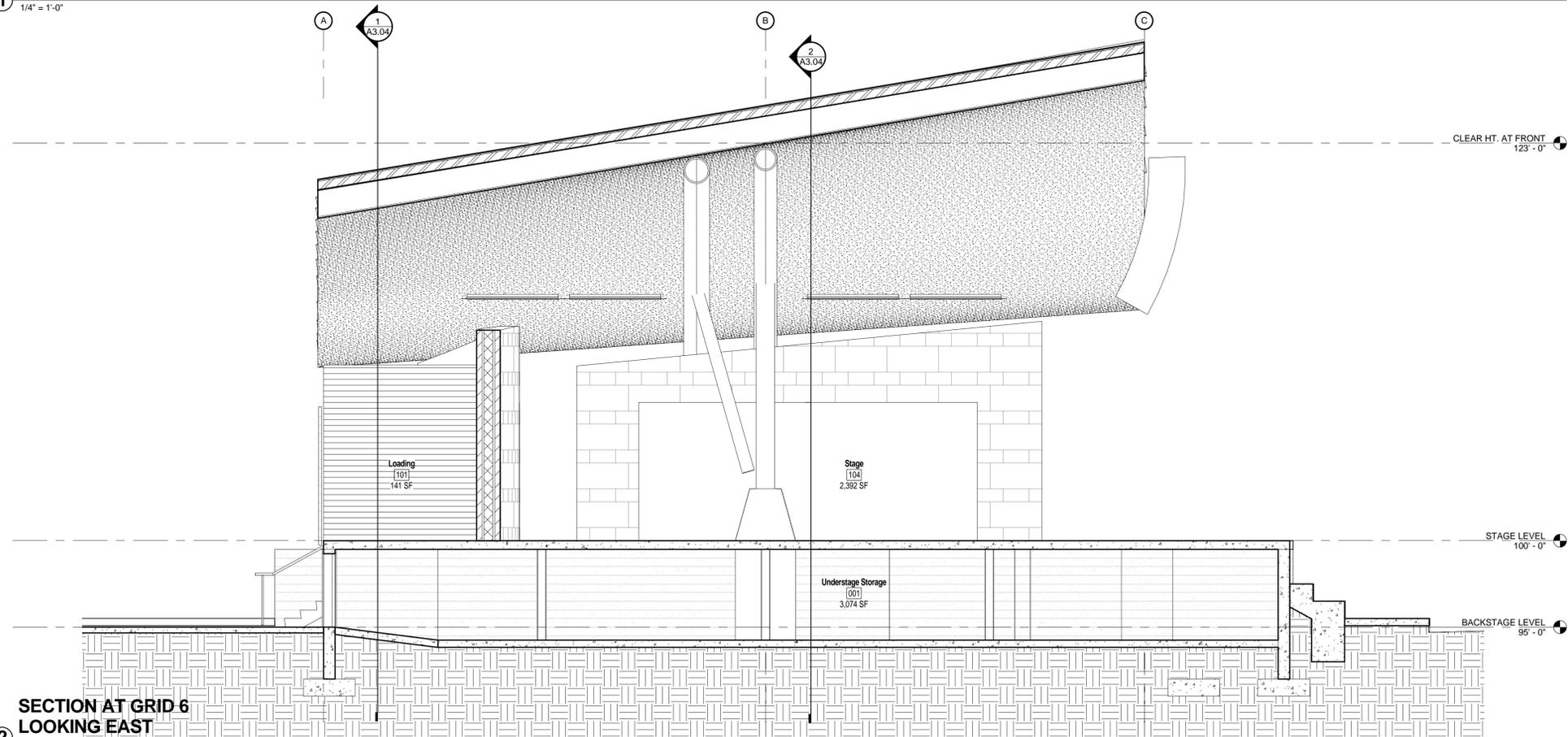
SHEET TITLE:  
 SECTIONS-BUILDING

SHEET NUMBER:  
**A3.03**



**SECTION AT GRID 6  
 LOOKING WEST**

① 1/4" = 1'-0"



**SECTION AT GRID 6  
 LOOKING EAST**

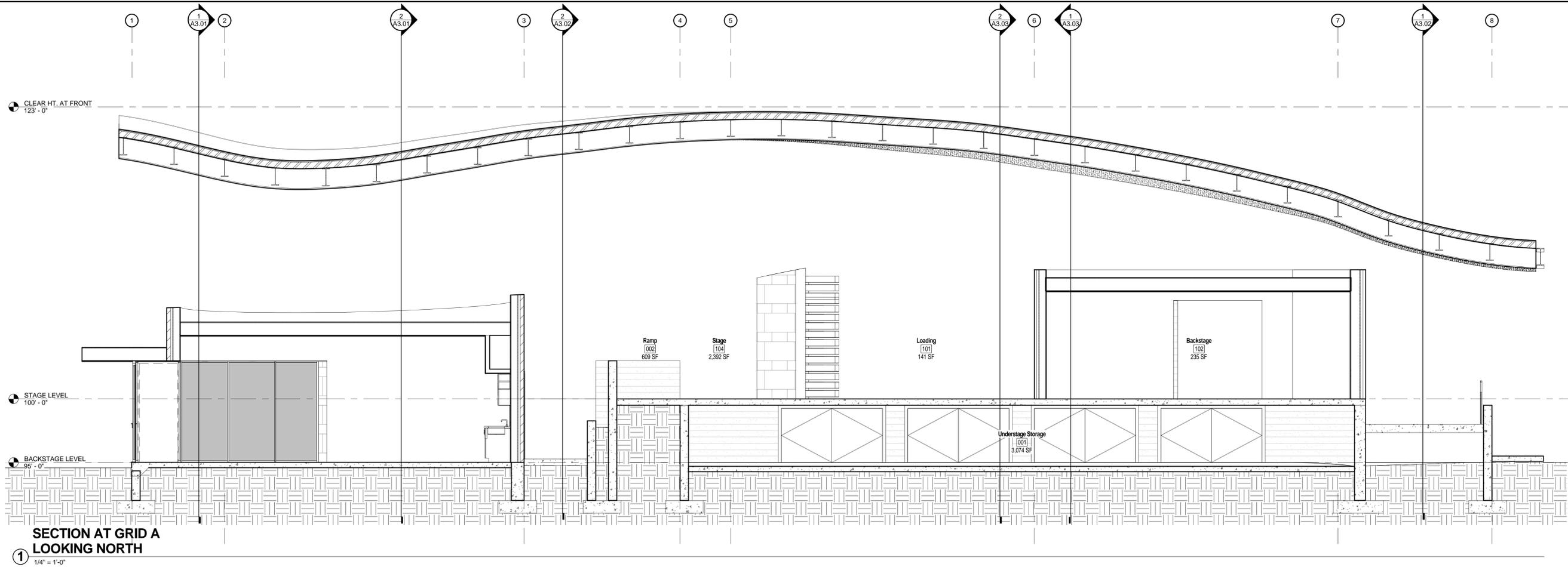
② 1/4" = 1'-0"

REVISION	DATE
Design Development	04.01.15

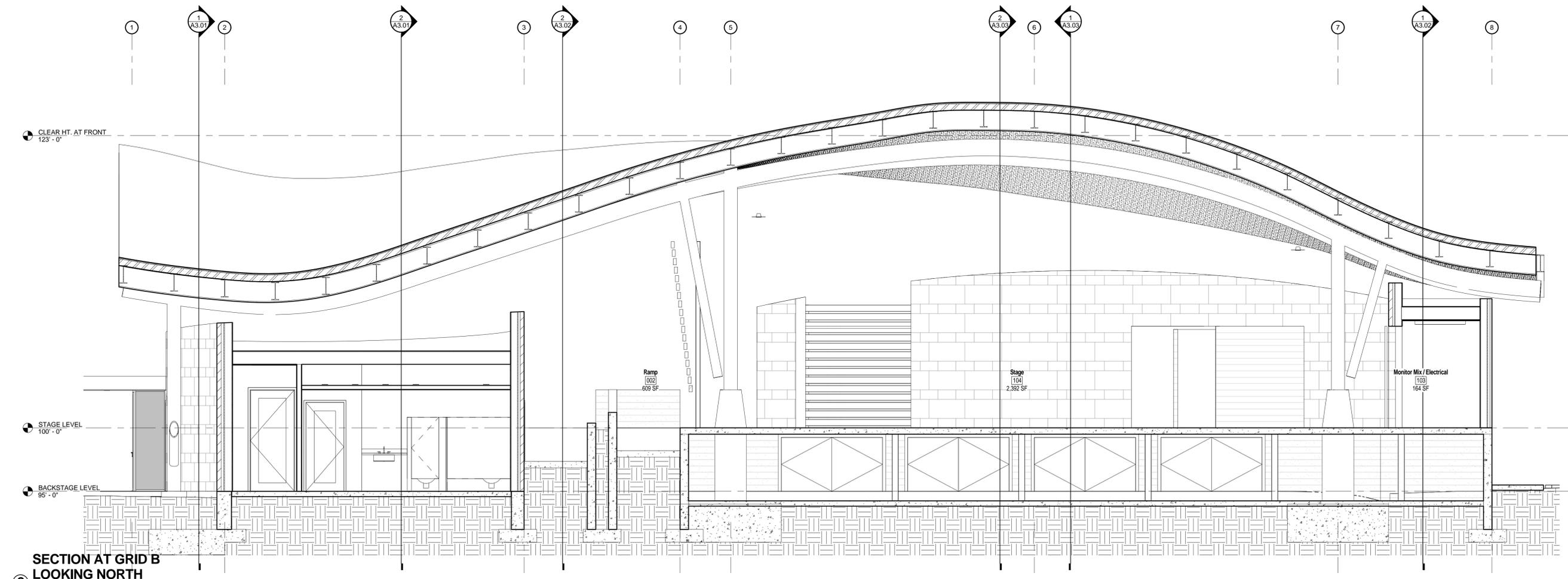
PROJECT NUMBER: 140800  
 PROJECT DATE: 04.01.2015

SHEET TITLE: SECTIONS-BUILDING

SHEET NUMBER: **A3.04**



**SECTION AT GRID A  
 LOOKING NORTH**  
 ① 1/4" = 1'-0"



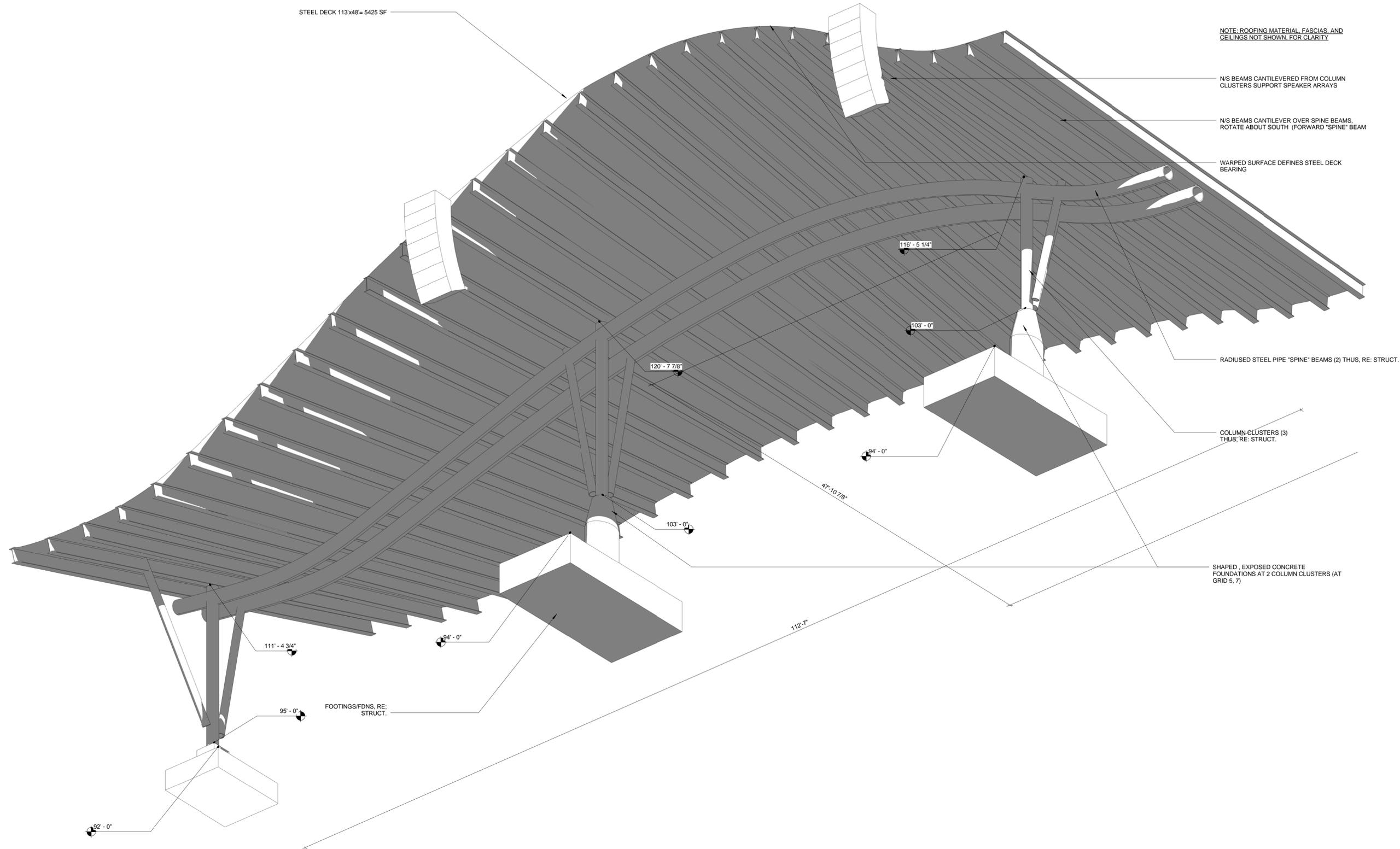
**SECTION AT GRID B  
 LOOKING NORTH**  
 ② 1/4" = 1'-0"

REVISION	DATE
Design Development	04.01.15

PROJECT NUMBER: 140800  
 PROJECT DATE: 04.01.2015

SHEET TITLE:  
 ROOF STRUCTURE

SHEET NUMBER:  
**A7.01**



STEEL DECK 113x48= 5425 SF

NOTE: ROOFING MATERIAL, FASCIAS, AND CEILINGS NOT SHOWN FOR CLARITY

N/S BEAMS CANTILEVERED FROM COLUMN CLUSTERS SUPPORT SPEAKER ARRAYS

N/S BEAMS CANTILEVER OVER SPINE BEAMS. ROTATE ABOUT SOUTH (FORWARD "SPINE" BEAM

WARPED SURFACE DEFINES STEEL DECK BEARING

RADIUSED STEEL PIPE "SPINE" BEAMS (2) THUS, RE: STRUCT.

COLUMN CLUSTERS (3) THUS, RE: STRUCT.

SHAPED, EXPOSED CONCRETE FOUNDATIONS AT 2 COLUMN CLUSTERS (AT GRID 5, 7)

FOOTINGS/FDNS, RE: STRUCT.

**3D VIEW- ROOF STRUCTURE FROM SOUTH / BELOW**

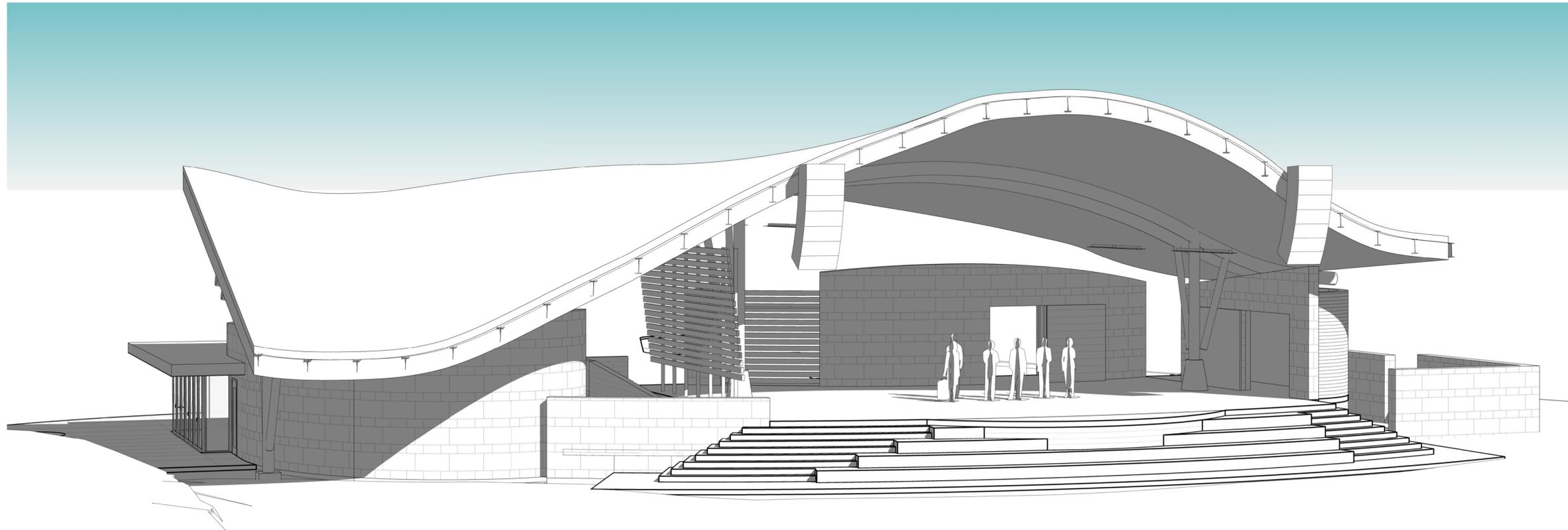
①

REVISION	DATE
Design Development	04.01.15

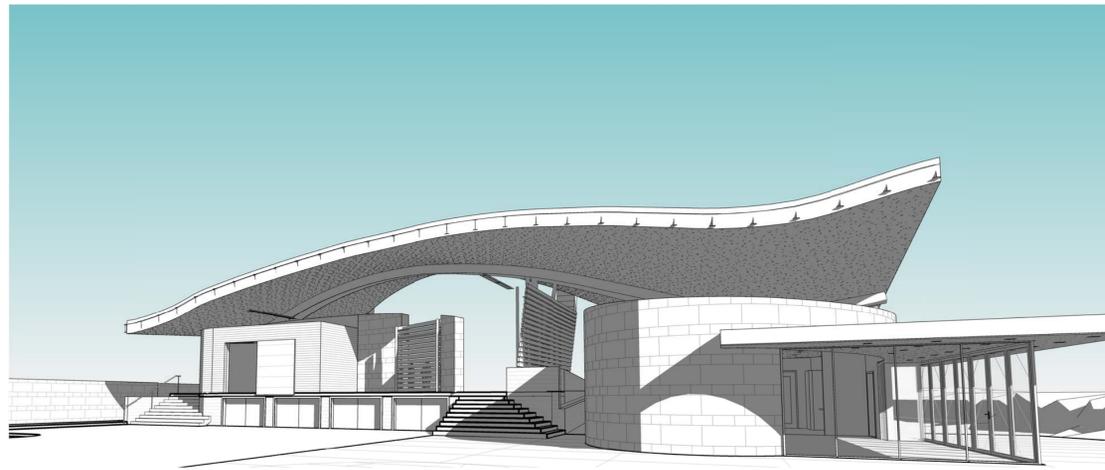
PROJECT NUMBER: 140800  
PROJECT DATE: 04.01.2015

SHEET TITLE:  
3D DRAWINGS

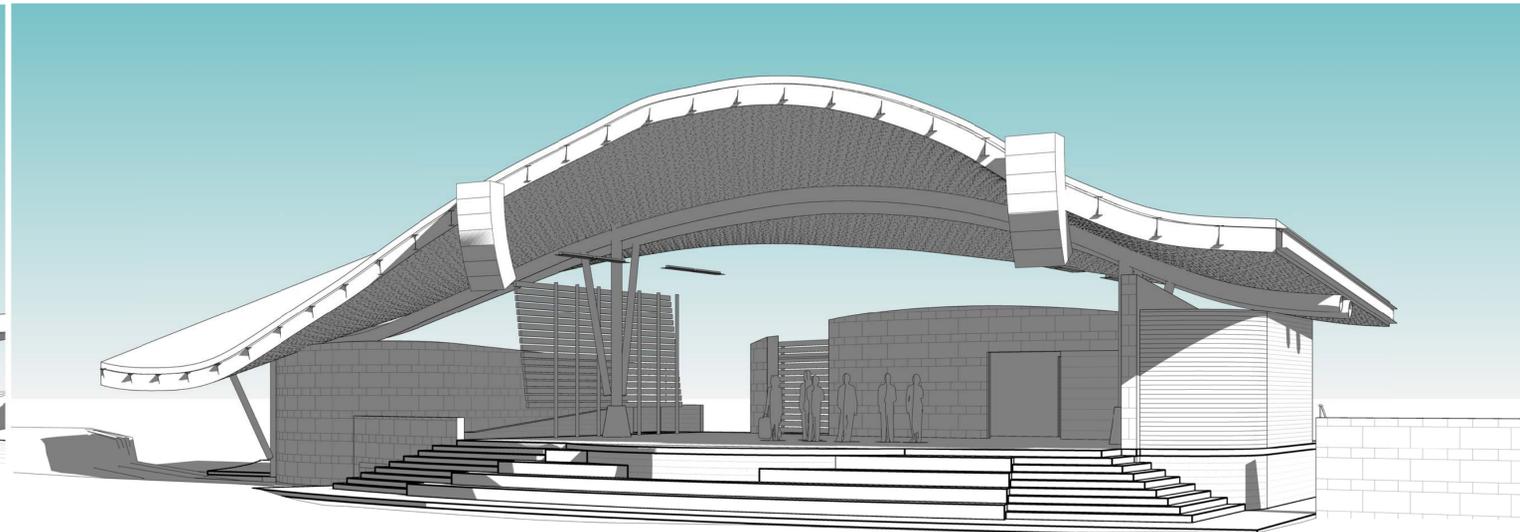
SHEET NUMBER:  
**A9.01**



① 3D VIEW FROM SW



③ 3D VIEW FROM NW  
(BACKSTAGE)



② 3D VIEW FROM SE

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Boulder, CO 80302 Phone: 303.444.1951  
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PROJECT NUMBER: 140800

PROJECT DATE: 04.01.2015

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

50

JVA #1696

REVISION

DATE

DO Submit

04.01.2015

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STRUCTURAL GENERAL NOTES

DESIGN LOADS: 2009 International Building Code (IBC), except as noted

Occupancy Category	Importance Factor	Wind	Seismic
II   Standard	1.0	1.00	1.00

Roofs:  
Flat Roof Snow Load PF 98 psf

Floor Live Loads (Reference ASCE 7-05):  
Occupancy or Use Stage | Uniformly Distributed (psf) | Concentrated (lbs) | Live Load Reduction

Wind:  
Basic Wind Speed (3-second gust) 90 mph  
Wind Exposure C

Seismic:  
Spectral Response Short Period Acceleration Coefficient  
SS 0.238g Sds 0.274g  
S1 0.063g Sd1 0.101g  
S2 0.03g Sd2 0.05g  
S3 0.015g Sd3 0.02g  
S4 0.008g Sd4 0.01g  
S5 0.005g Sd5 0.008g  
S6 0.003g Sd6 0.005g  
S7 0.002g Sd7 0.003g  
S8 0.001g Sd8 0.002g  
S9 0.0005g Sd9 0.001g  
S10 0.0002g Sd10 0.0005g  
S11 0.0001g Sd11 0.0002g  
S12 0.00005g Sd12 0.0001g  
S13 0.00002g Sd13 0.00005g  
S14 0.00001g Sd14 0.00002g  
S15 0.000005g Sd15 0.00001g  
S16 0.000002g Sd16 0.000005g  
S17 0.000001g Sd17 0.000002g  
S18 0.0000005g Sd18 0.000001g  
S19 0.0000002g Sd19 0.0000005g  
S20 0.0000001g Sd20 0.0000002g

FOUNDATION DESIGN:  
Refer to Soils Report no. 406 0309 by HP Geotech, dated August 18, 2006.  
Geotechnical Engineer shall verify soil conditions and types during excavation and prior to placement of formwork or concrete.

FOOTINGS:  
Design of footings is based on maximum allowable bearing pressure 3000 psf  
Bear on the natural undisturbed soil or compacted structural fill. Exterior footings shall bear below frost depth; minimum frost depth shall be 42" below exterior grade.

REINFORCED CONCRETE:  
Design is based on ACI 318-05 "Building Code Requirements for Reinforced Concrete."  
Concrete work shall conform to ACI 301-05 "Standard Specifications for Structural Concrete."

Intended Use	f'c, psi	Max	Minimum	Slump	Entrained	Cement	Admixtures
Footings	3,000	Ratio	3/4" stone	4	2	I/II	Comments
Stem walls	3,000	0.52	3/4" stone	5	3	I/II	
Structural slab on deck	3,500	0.50	3/4" stone	4	3	I	
Interior slabs on grade	4,000	0.45	3/4" stone	4	3	I/II	Fiber

Detailing, fabrication, and placement of reinforcing steel shall be in accordance with ACI 318-05 "Details and Detailing of Reinforced Concrete."  
Welded wire fabric shall conform to ASTM A185-02.  
Reinforcing bars shall conform to ASTM A618-04, Grade 60, except ties or bars shown to be field-bent, which shall be Grade 40.  
Epoxy coated reinforcing bars shall conform to ASTM 775-04.  
Zinc coated (galvanized) reinforcing bars shall conform to ASTM 767-00B.  
Bars to be welded shall conform to ASTM 706-04.  
Unless noted otherwise on the Structural Drawings, lap bars 50 diameters (minimum).  
At corners and intersections, make horizontal bars continuous or provide matching corner bars for each layer of reinforcement.  
Trim openings in walls and slabs with 2-#5 for each layer of reinforcement, fully developed by extension or hook.  
In continuous members, splice top bars at mid-span and splice bottom bars over supports.  
Form intermittent shear keys at all construction joints and as shown on the Structural Drawings.  
Except as noted on the drawings, concrete protection for reinforcement in cast-in-place concrete shall be as follows:  
Cast against and permanently exposed to earth: 3"  
Exposed to earth or weather: 2"  
#6 through #8 bars 1-1/2"  
#9 bar, #31 or #31 wire, and smaller not exposed to weather or in contact with ground: 3/4"  
Slabs, walls, joists: #11 bars and smaller Beams and columns: 1-1/2"  
Primary reinforcement stirrups, ties, spirals 1-1/2"  
Fiber admixture shall be 100% virgin polypropylene, fibrillated fibers, type III 4.1.3, performance level one, per ASTM D1385-03, 11lb/100lb concrete.  
Anchor bolts and rods for beam and column-bearing plates shall be placed with setting templates.

STRUCTURAL STEEL:  
Structural steel shall be detailed, fabricated, and erected in accordance with the "Specification for Structural Steel Buildings" (AISC 360) and the "Code of Standard Practice for Steel Buildings and Bridges" (AISC 303) by the American Institute of Steel Construction (AISC).  
Structural steel wide flange beams shall conform to ASTM A992-04a, 50 ksi yield. Other rolled shapes, including plates, channels, wfs, and angles shall conform to ASTM A36-04, 36 ksi yield.  
Hollow structural section (HSS) rectangular shapes shall conform to ASTM A500-03a, Grade B, 46 ksi yield.  
HSS round shapes shall conform to ASTM A500-03a, Grade B, 42 ksi yield.  
Pipe shapes shall conform to ASTM A53-02, Grade B, 35 ksi yield.  
Except as noted, framed beam connections shall be bearing-type with 3/4" diameter, snug tight, ASTM A325-04 bolts, detailed in conformance with the Structural Drawings and the "Steel Construction Manual" by the AISC, 13th edition. Install bolts in accordance with AISC's "Specification for Structural Joints using ASTM A325 or A490 Bolts," 2004.  
All beams shall have full depth web stiffeners each side of webs above and below columns.  
Anchor rods shall conform to ASTM F1554-99, Grade 36 as noted on the Structural Drawings with weldability supplement S1.  
Hooded anchor studs (HAS) shall conform to ASTM A108-02 and shall be connected to structural steel with equipment approved by the stud manufacturer according to the stud manufacturer's recommendations.  
Welding shall be done by a certified welder in accordance with the AISC documents listed above, the American Welding Society (AWS) D1.1: 2006 Structural Welding Code, and the recommendations for use of weld electrodes, where not specifically noted, minimum weld shall be 3/16" fillet by length of contact edge.  
All post-installed anchors shall have current International Code Council Evaluation Service (ICC-ES) reports and shall be installed in accordance with the manufacturer's requirements.  
Expansion anchors shall be approved "wedge" type unless specifically noted to be "sleeve" type as noted on the Structural Drawings.  
Chemical anchors shall be approved epoxy or similar adhesive type as appropriate for installation in solid and non-solid base materials.  
Grout beneath column base and beam bearing plates shall have a minimum 28-day, compressive strength of 7,500 psi and shall be non-shrink, non-metallic, and tested in accordance with ASTM C1107-04.

STEEL DECKING:  
Steel roof and composite floor deck shall be manufactured and erected in accordance with the standard deck specifications and the "Manual of Construction with Steel Deck" (SDI No. MOC1) as prepared by the Steel Deck Institute (SDI).  
Roof deck shall be connected to supporting members and interconnected to develop the diaphragm shears due to lateral forces as noted on the Structural Drawings.  
Composite floor deck shall be connected to supporting members and interconnected as required to satisfy SDI minimum requirements except as noted on the Structural Drawings.  
Welding patterns, screw patterns, and details shall be indicated on the deck supplier's shop drawings.

STRUCTURAL MASONRY:  
Design is based on ACI 530-05/ASCE 5-05/TMS 402-05, "Building Code Requirements for Masonry Structures," Allowable Stress Design.  
Compressive strength of masonry assembly used for design is 1500 psi, based on net-bedded area.  
Except as noted, lintels using standard lintel units, bond beam units shall be produced from standard vertically voided units with pre-cast knockout cross walls.  
Hollow load-bearing concrete masonry units (CMU) shall be lightweight, 85 to 105 pcf density, conforming to ASTM C90-03, with a minimum compressive strength of 1,900 psi based on average net area.  
Facing brick shall conform to ASTM C216-04a Grade SW.  
Building brick shall conform to ASTM C62-04 Grade SW.  
Hollow brick shall conform to ASTM C652-04a, Grade SW.  
Mortar shall be Type S conforming to ASTM C270-04.  
Masonry cement shall not be used unless part of a pre-packaged mortar or grout mix approved by the Structural Engineer.  
Provide full shovled mortar in all head and bed joints.  
Admixtures shall not be used unless approved by the Architect and/or Structural Engineer.  
Grout used in masonry walls and block cells shall be coarse grout, as defined by ASTM C476-02, with a minimum cube strength = 2,000 psi or 3,000 psi concrete using 3/8" diameter aggregate and placed by vibrating unless an approved self-consolidating mix is used.  
"Low-lift" grouting shall not exceed 5 feet in height unless ACI 530.1-05 "high-lift" grouting procedures are reviewed and approved by the Architect and Structural Engineer.  
Vertically space continuous horizontal joint reinforcing at 16" maximum in all CMU walls.  
Joint reinforcing shall be welded type with 9 gage side rods and 9 gage trussed or ladder cross rods. In exterior walls, joint reinforcement shall be stainless steel or hot-dip galvanized. All other joint reinforcement shall be mild galvanized, hot-dip galvanized, or stainless steel.  
Wire ties for veneer shall be 9 gage diameter for cavity widths 2" or less, where nominal cavity width exceeds 2 inches, veneer ties shall be 1/4" diameter. Ties shall be spaced a maximum of 16" in each direction.  
Reinforcing bars shall be as for reinforced concrete except as noted. Unless otherwise noted on the Structural Drawings, lap bars 50 diameters (minimum) at splices.  
Reinforcement shall be secured against displacement prior to grouting by wire bar locators or other suitable devices at intervals not exceeding 200 bar diameters or 10 feet.

Reinforce and grout vertical cells at corners, ends of walls, jambs of openings, each side of vertical control joints, and at spacing shown on drawings.  
Where noted on the drawings, provide clearance between masonry and structural elements, or wrap steel with polyethylene film.  
Locate vertical control joints in all masonry walls as shown on the Architectural Drawings, Structural Drawings, or spaced horizontally at 25'-0" maximum spacing where not shown.

LOOSE LINTELS:  
Unless noted otherwise, provide loose lintels as follows: (One angle for each 4" of wall thickness to bear 4" minimum each end).

Opening	Angle
0'-8 to 4'-0	3 1/2 x 3 1/2 x 1/4
4'-1 to 5'-4	5 x 3 1/2 x 1/4 (LLV)
5'-5 to 10'-0	6 x 3 1/2 x 5/16 (LLV)

STRUCTURAL WOOD FRAMING:  
In-grade Base values have been used for design.  
2x framing shall be S4S Douglas Fir-Larch No. 2 and better unless noted otherwise.  
All lumber shall be 19% maximum moisture content, unless noted otherwise.  
Solid timber beams and posts shall be Douglas Fir-Larch No. 1.  
Studs shall be Douglas Fir-Larch Stud grade and better.  
Top and bottom plates shall be Douglas Fir-Larch No. 2 and better.  
Fasteners for use with treated wood shall comply with IRC section 2304.9.5 - 06/09 IRC.  
Wood in contact with concrete shall be pressure-treated Douglas Fir-Larch or Southern yellow pine.  
Preservative treated wood shall be treated in accordance with AWA U1 and AEP4 M4.  
Conventional light framing shall comply with IBC Section 2308.  
Provide solid blocking between joists under jamb studs of openings.  
Columns must have a continuous load path to foundation.  
Unless otherwise indicated, install two lengths of solid blocking x joists depth x 12 inches long in floor framing under column loads.  
All beams and trusses shall be braced against rotation at points of bearing.  
Unless noted on drawings, lower chord of gable end trusses shall be anchored to wall plate with framing anchors at 4'-0 spacing and laterally braced to roof framing at 8'-0 spacing.  
Except as noted otherwise, minimum nailing shall be provided as specified in IBC Table 2304.9.1 "Fastening Schedule."  
Metal framing anchors shown or required, shall be Simpson Strong-Tie or equal code approved connectors and installed with the number and type of nails recommended by the manufacturer to develop the maximum rated capacity.  
Note that heavy-duty hangers and skewed hangers may not be stocked locally and require special order from the factory.  
All roof rafters, joists, trusses, beams shall be anchored to supports with metal framing anchors.  
Lead holes for lag screws shall be 40%-70% of the shank diameter at the threaded section and equal to the shank diameter at the unthreaded section per NDS section 11.1.3.  
Connector bolts and lag screws shall conform to ANSI/ASME B18.2.1 and ASTM SAE 3429 Grade 1. Nails and spikes shall conform to ASTM F1667.  
Wood screws shall conform to ANSI/ASME B18.6.1.

WOOD SHEATHING:  
Plywood and oriented strand board (OSB) floor and roof sheathing shall be APA rated with stamp including APA trademark and panel span rating.  
Minimum Floor Sheathing: 23/32" APA Stud-i-Floor rated 24 inch o.c. tongue & groove, glued and nailed.  
Minimum Roof Sheathing: 19/32" OSB or CDX Plywood, APA 40/20, nailed.  
Minimum Wall Sheathing: 7/16" OSB or CDX Plywood, APA 24/16, blocked and nailed.  
Nail wall sheathing with minimum 8d common or 10d box at 6" at panel edges, and 12" at intermediate framing except as noted. Block and nail all edges between studs.  
Minimum (3) 8d nails all plate steel spacing indicated.  
Sheathe all exterior walls. Sheathe interior walls as designated on the drawings.  
Sheathing shall be continuous from bottom plate to top plate, cut in "L" and "S" shapes and lap sheathing over rim joists a minimum 4" at all floors to tie upper and lower stud walls together.  
Minimum height of sheathing panels shall be 16" to ensure that plates are tied to studs.

OPEN-WEB WOOD TRUSSES:  
Manufacture and installation of metal plated wood trusses shall comply with ANSI/TPI 1 "National Design Standard for Metal-Plated Wood Truss Construction," BCSI-2008 (Building Component Safety Information) "Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses," and OSB-89 "Recommended Design Specification for Temporary Bracing of Metal Plate Connected Wood Trusses."  
Pre-engineered trusses shall be designed by an engineer registered in the State of Colorado, and shall comply with code requirements.  
Trusses shall be designed to support the full dead loads and the superimposed design loads noted above or on the drawings.  
Stresses shall not exceed those listed in the National Design Specification for wood construction with design supplement (AF&PA NDS-2005). <No increases in stress are allowed for duration of load.>  
The fabricator shall determine truss web arrangements and member forces.  
Truss to truss connections specified shall be by truss supplier, unless specifically noted on the drawings.  
Unless otherwise indicated, trusses shall be designed for perpendicular to grain bearing on heel fit plates (400 psi). End grain bearing is not allowed unless accepted in writing by JVA. Design truss for bearing blocks or truss bearing enhancers as required to compensate for overstresses. Specify size, species, and nailing for bearing blocks.  
Truss fabricator shall specify all floor and roof truss bracing and bridging.  
Calculations and shop drawings, including member sizes, lumber species and grades, and substantiating data for connector capacities, shall be submitted to the architect for review prior to fabrication.

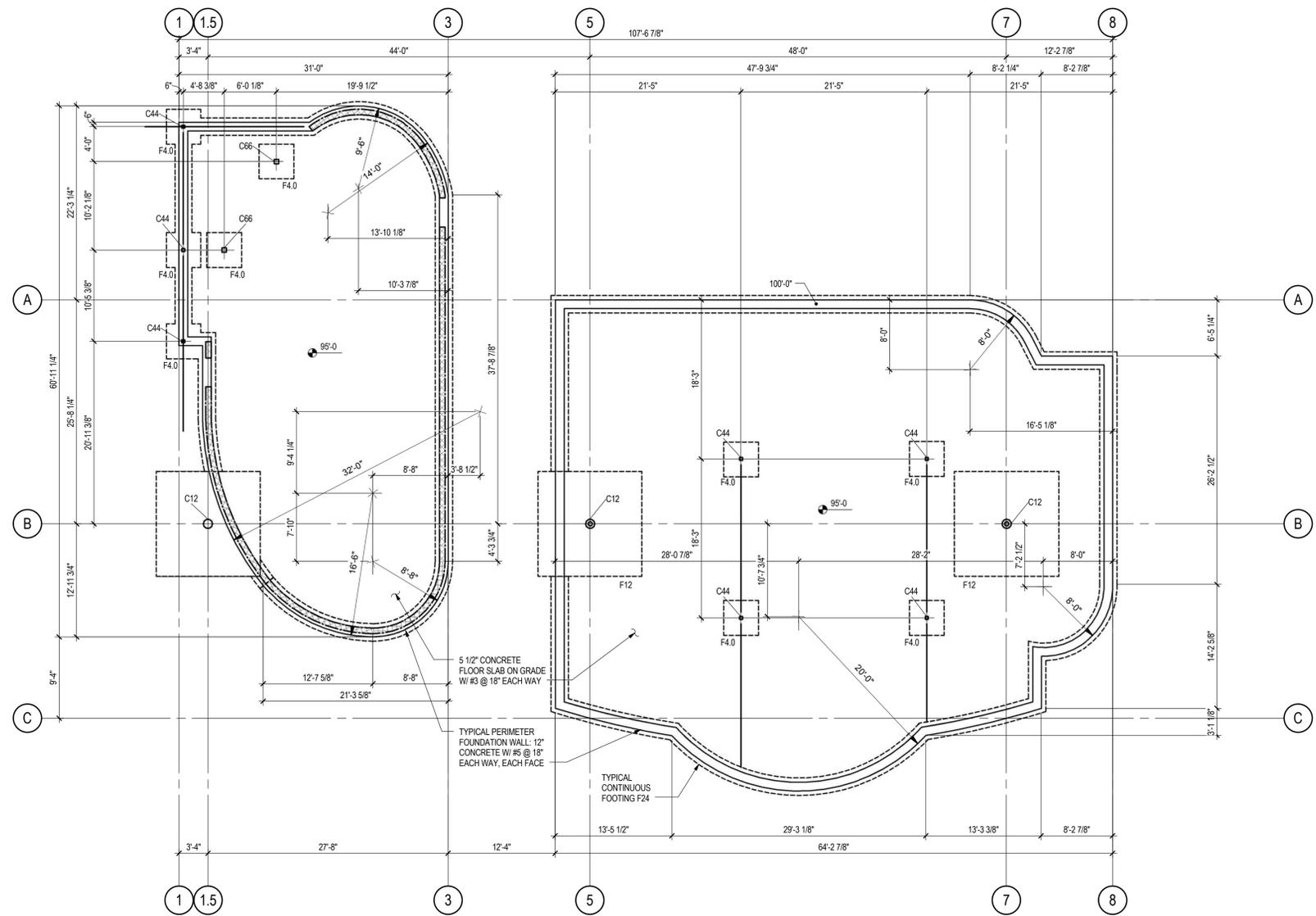
SHOP DRAWINGS:  
The Structural Drawings are copyrighted and shall not

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**FOUNDATION PLAN**  
1/8" = 1'-0"  
NORTH

FOOTING SCHEDULE				
MARK	WIDTH	LENGTH	THICKNESS	REINFORCING
F4.0	4'-0"	4'-0"	1'-0"	#5 @ 12" EACH WAY BOTTOM
F12	12'-0"	12'-0"	2'-0"	#6 @ 12" EACH WAY TOP & BOTTOM
F24	2'-0"	1'-0"	1'-0"	(3) #5 CONTINUOUS

STEEL COLUMN SCHEDULE	
MARK	SIZE
C44	HSS4X4X1/4
C66	HSS6X6X3/8
C12	HSS12.75X12.75

**HIDEAWAY PARK STAGE**  
Winter Park, CO, 80xxx

REVISION	DATE
DD Submittal	04.01.2015

PROJECT NUMBER: 140800  
PROJECT DATE: 04.01.2015

SHEET TITLE: FOUNDATION PLAN

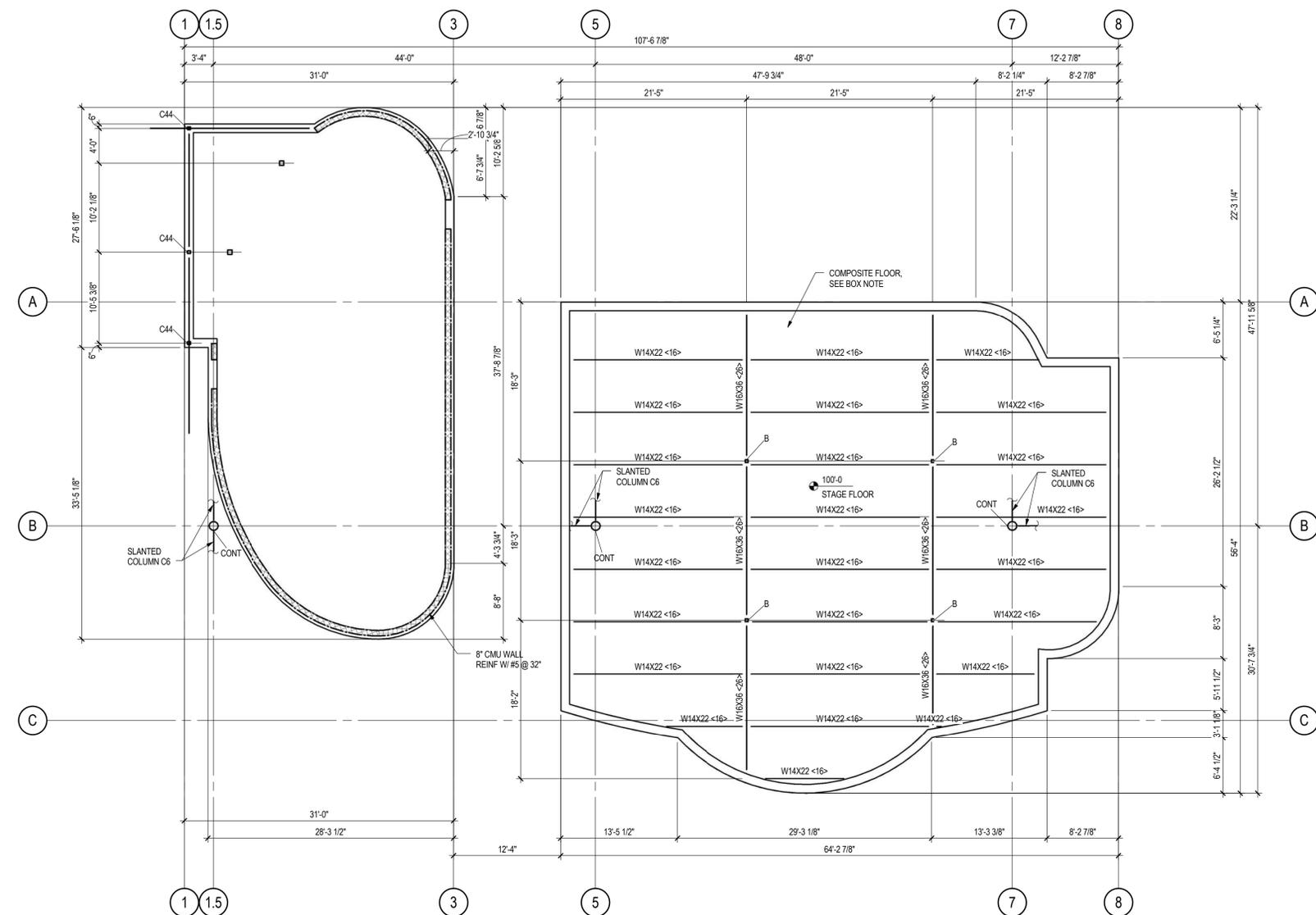
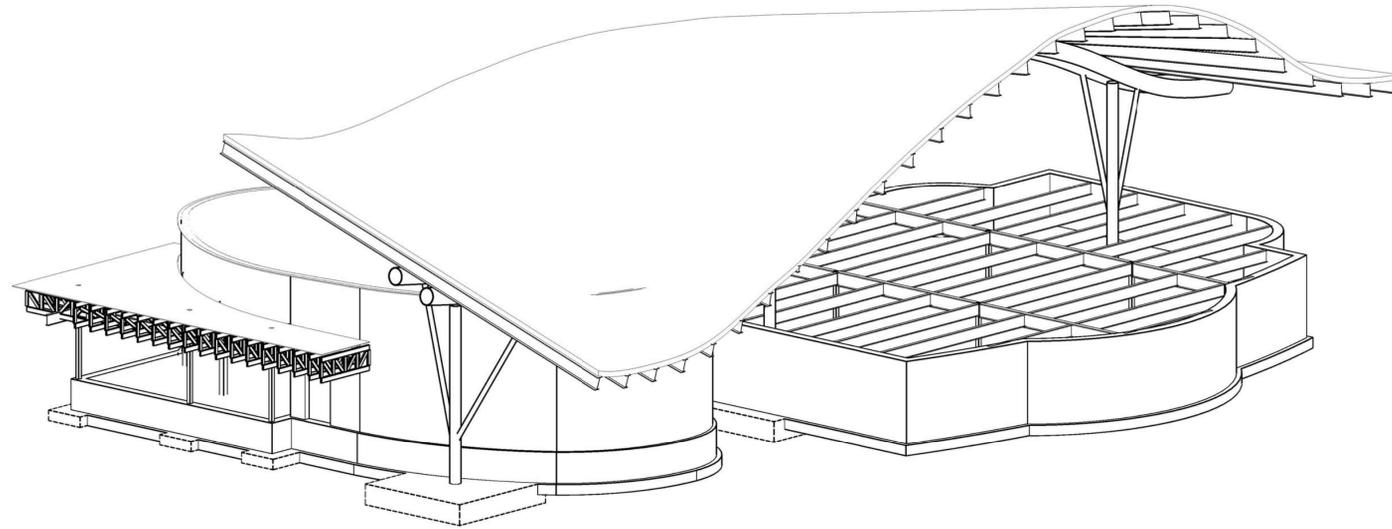
SHEET NUMBER: **S1**

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**STAGE FLOOR FRAMING PLAN**  
1/8" = 1'-0"  
NORTH

TYPICAL COMPOSITE FLOOR CONSTRUCTION:  
6" UNIFORM THICKNESS SLAB ON 1 1/2" DEEP X 20 GAGE STEEL DECK  
(VULCRAFT TYPE 1.5V) WITH GALVANIZED FINISH. STEEL DECK SHALL  
BE CONTINUOUS OVER TWO OR MORE SUPPORTS. REINFORCE WITH #3  
@16" EACH WAY SUPPORTED ON CHAIRS 1" CLEAR FROM TOP OF SLAB

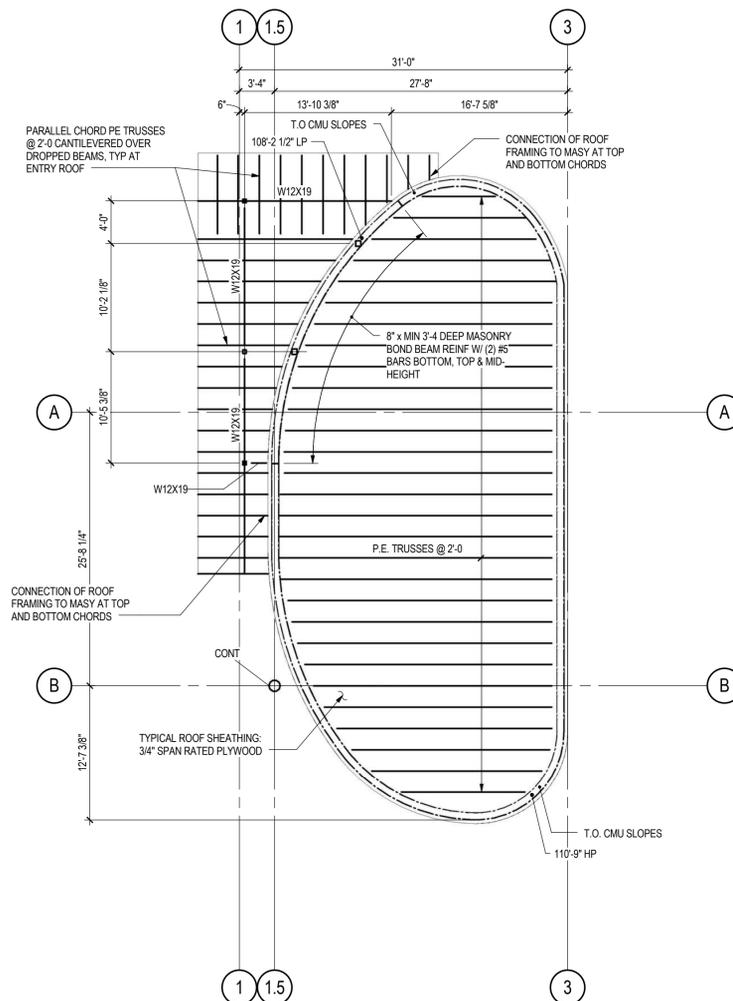
**HIDEAWAY PARK STAGE**  
Winter Park, CO, 80xxx

REVISION	DATE
DD Submittal	04.01.2015

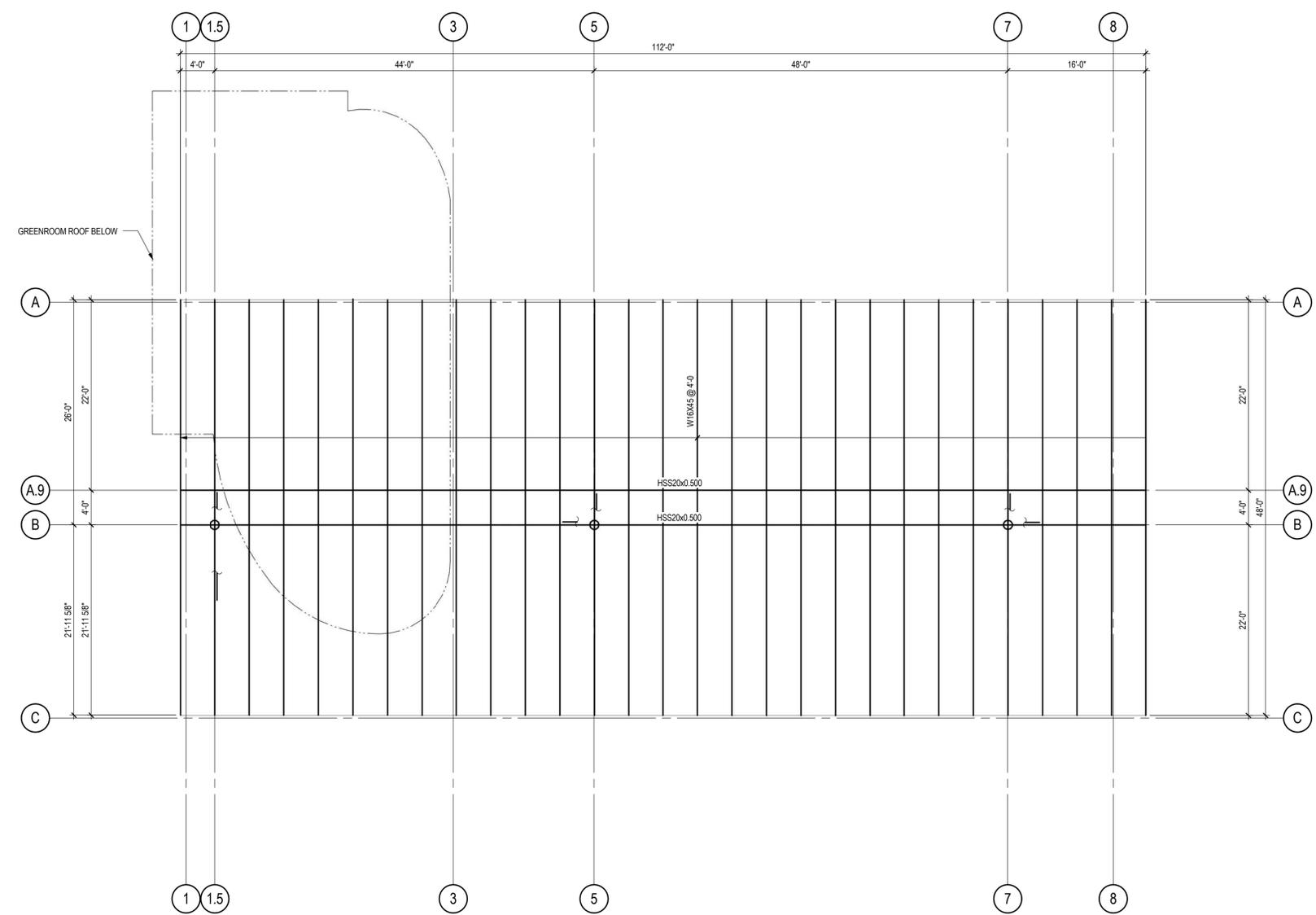
PROJECT NUMBER: 140800  
PROJECT DATE: 04.01.2015

SHEET TITLE:  
STAGE FLOOR FRAMING PLAN

SHEET NUMBER:  
**S2**



**GREENROOM ROOF FRAMING PLAN**  
1/8" = 1'-0"  
NORTH



**STAGE ROOF FRAMING PLAN**  
1/8" = 1'-0"  
NORTH

**HIDEAWAY PARK STAGE**  
Winter Park, CO, 80xxx

REVISION	DATE
DD Submittal	04.01.2015

PROJECT NUMBER: 140800  
PROJECT DATE: 04.01.2015

SHEET TITLE: ROOF FRAMING PLANS

SHEET NUMBER: S3



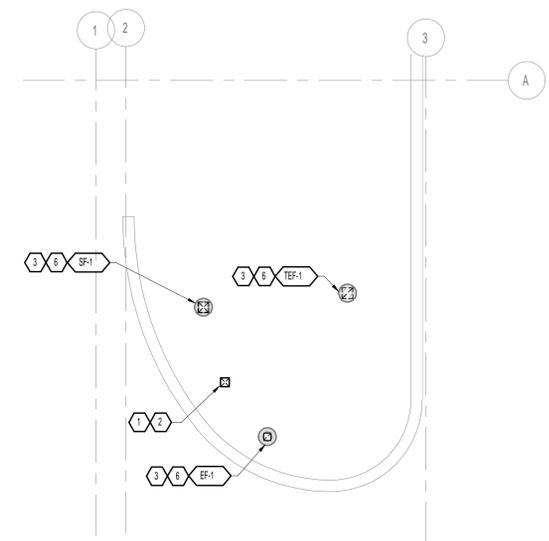
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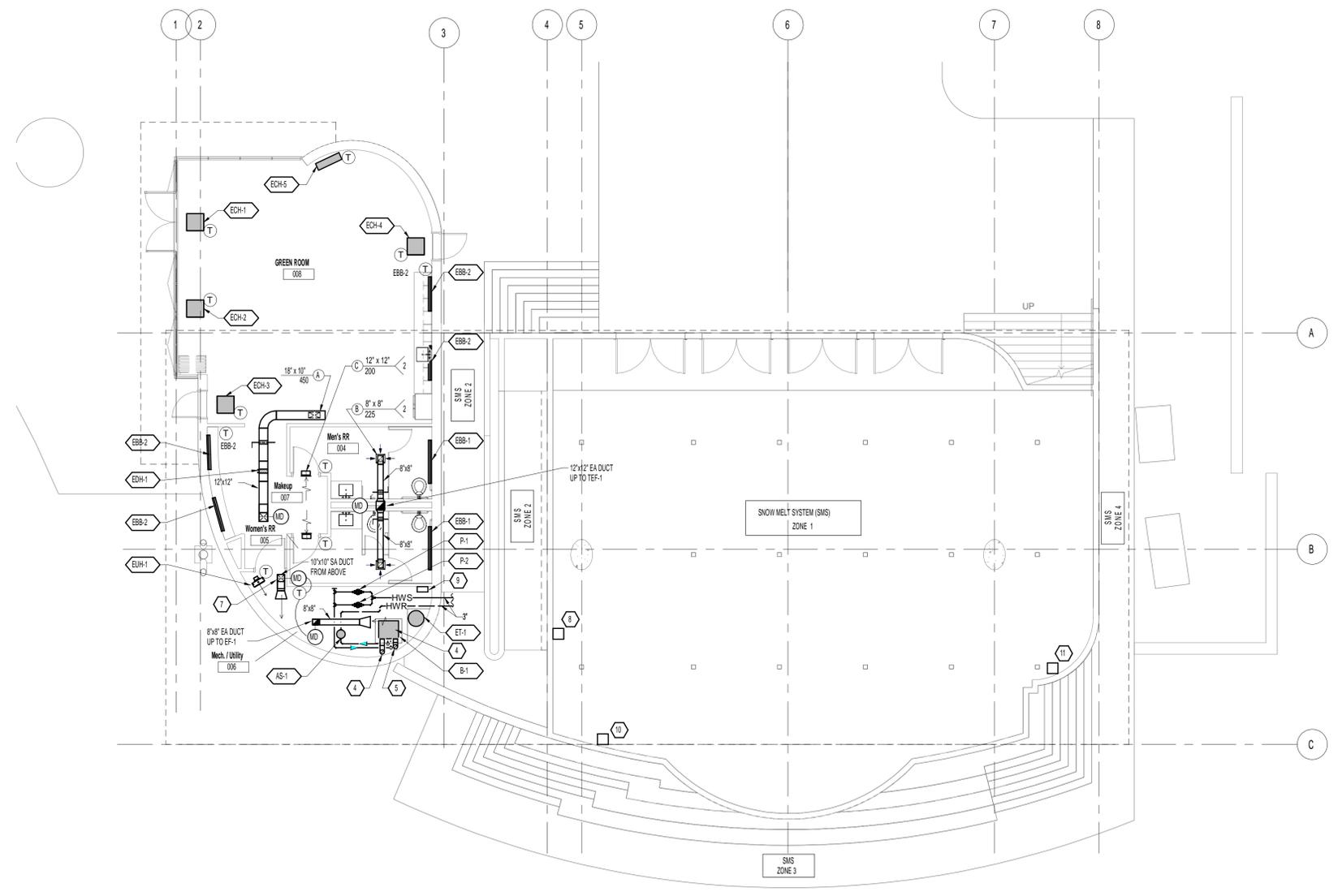
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**2 HVAC PLAN - ROOF**  
 SCALE: 1/8" = 1'-0"



**1 HVAC PLAN - BACKSTAGE LEVEL**  
 SCALE: 1/8" = 1'-0"

**SHEET NOTES**

1. PROVIDE DRY PIPE SPRINKLER SYSTEM FOR STORAGE AREA.
2. PROVIDE WET SPRINKLER SYSTEM FOR GREEN ROOM, RESTROOMS AND MECHANICAL ROOMS.

**KEY NOTES**

1. TERMINATE 24" ABOVE ROOF LEVEL WITH GOOSENECK.
2. PROVIDE BIRD SCREEN AT OPEN END OF DUCT.
3. PROVIDE ROOF CURB MINIMUM 24" HIGH.
4. 6" VENT UP THROUGH ROOF.
5. 6" COMBUSTION AIR INTAKE FROM ROOF.
6. INTERLOCK MOTORIZED DAMPER WITH FAN.
7. INTERLOCK MOTORIZED DAMPER WITH EF-1.
8. DISTRIBUTION BOX FOR SMS ZONE 1 IN STORAGE SPACE BELOW.
9. DISTRIBUTION BOX FOR SMS ZONE 2.
10. DISTRIBUTION BOX FOR SMS ZONE 3 IN STORAGE SPACE BELOW.
11. DISTRIBUTION BOX FOR SMS ZONE 4 IN STORAGE SPACE BELOW.

**HIDEAWAY PARK STAGE**  
 Winter Park, CO, 80482

REVISION	DATE

PROJECT NUMBER: 140800  
 PROJECT DATE: 01.12.2015  
 SHEET TITLE: HVAC PLAN - BACKSTAGE LEVEL AND ROOF  
 SHEET NUMBER: **M1.00**

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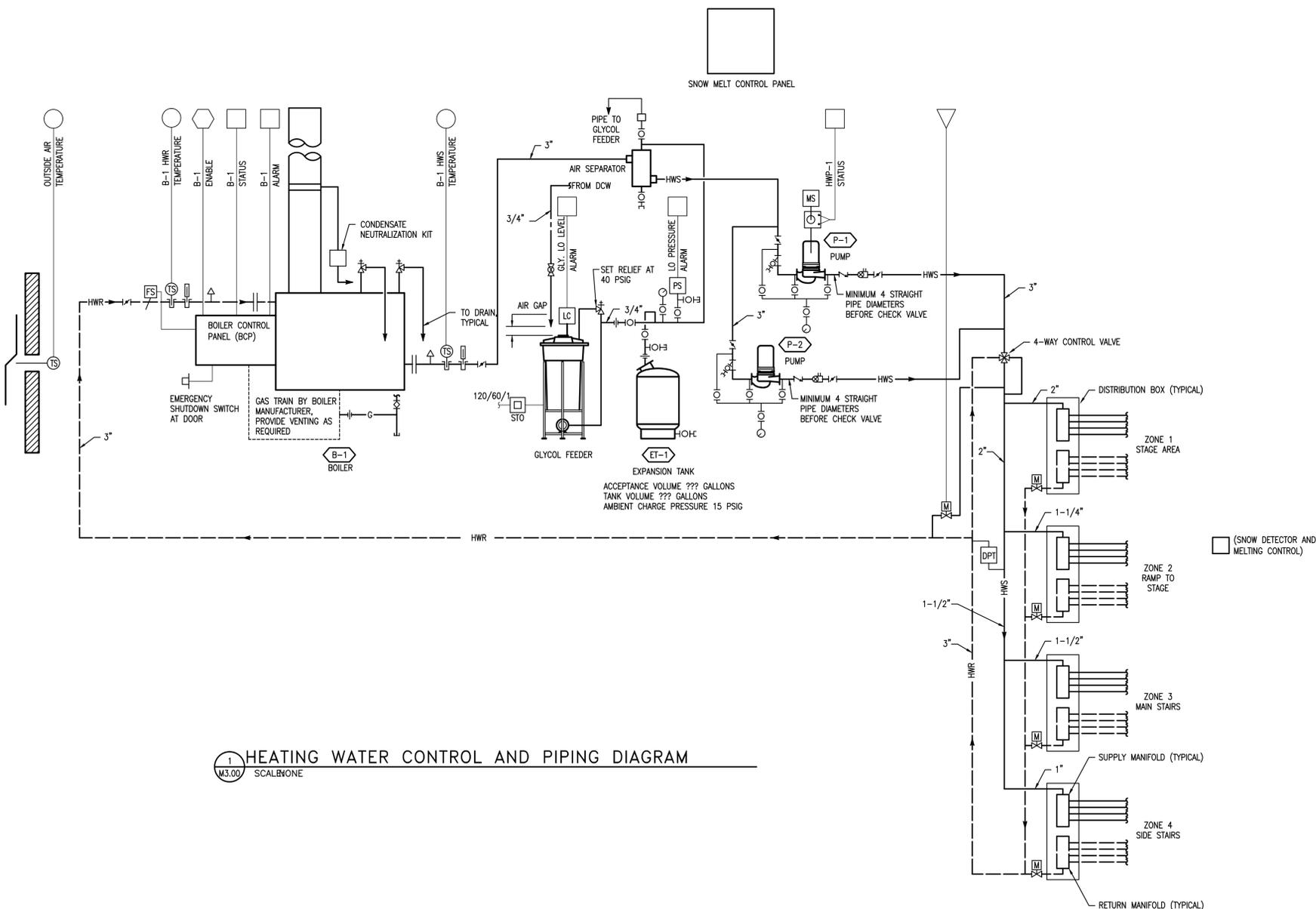
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Winter Park, CO, 80482



**1 HEATING WATER CONTROL AND PIPING DIAGRAM**  
 M3.00 SCALBONE

REVISION	DATE

PROJECT NUMBER: 140800  
 PROJECT DATE: 01.12.2015  
 SHEET TITLE:  
 MECHANICAL SCHEDULES AND PIPING DIAGRAM  
 SHEET NUMBER:

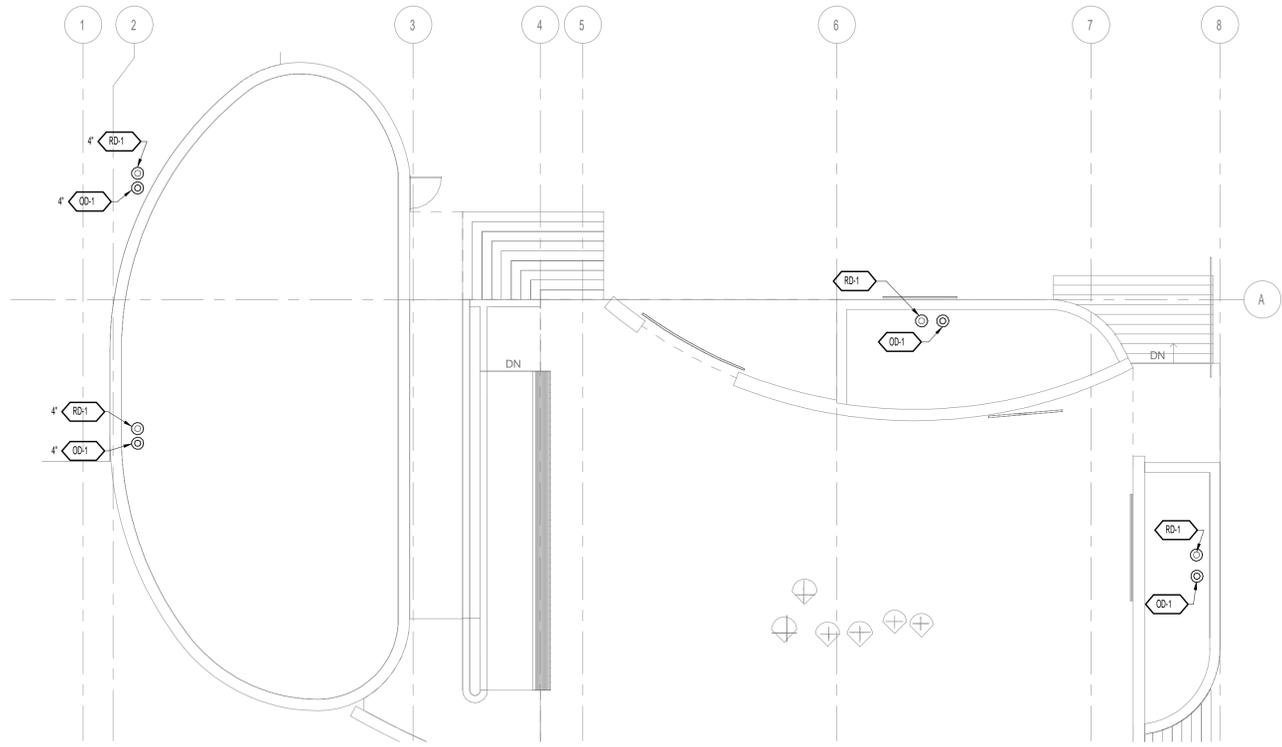
**M3.00**

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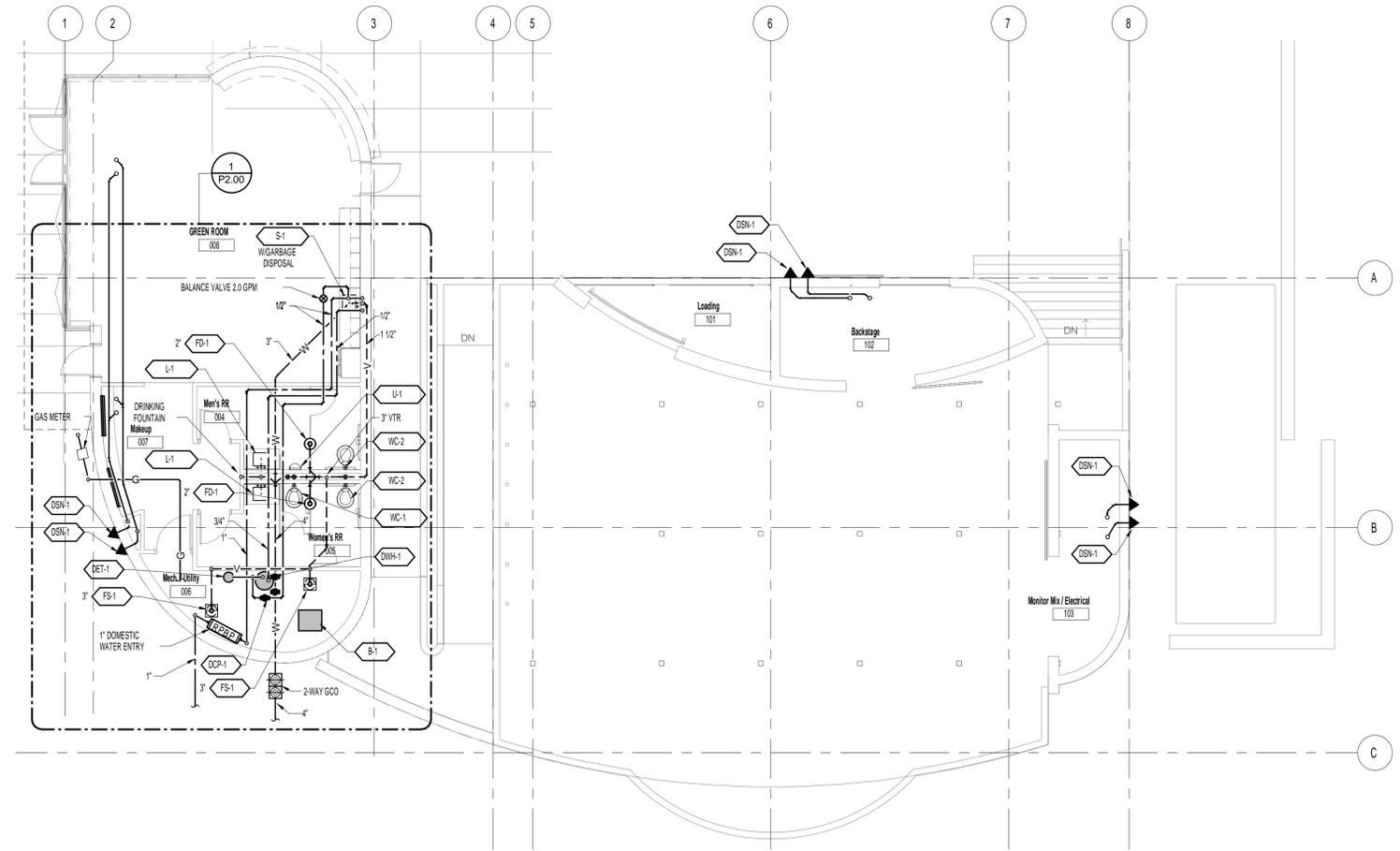
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**2 PLUMBING PLAN - ROOF**  
 SCALE: 1/8" = 1'-0"



**1 PLUMBING PLAN - BACKSTAGE LEVEL**  
 SCALE: 1/8" = 1'-0"

**HIDEAWAY PARK STAGE**  
 Winter Park, CO, 80402

REVISION	DATE

PROJECT NUMBER: 140800  
 PROJECT DATE: 01.12.2015  
 SHEET TITLE: PLUMBING PLAN - BACKSTAGE LEVEL  
 SHEET NUMBER: **P1.00**

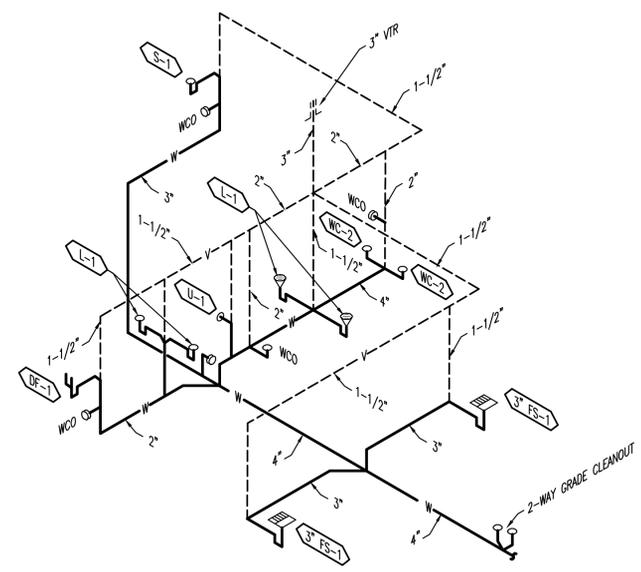
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**HIDEAWAY PARK STAGE**  
 Winter Park, CO, 80482



**1 WASTE AND VENT ISOMETRIC**  
 P3.00 SCALE: NONE

REVISION	DATE

PROJECT NUMBER: 140800  
 PROJECT DATE: 01.12.2015  
 SHEET TITLE:  
 PLUMBING SCHEDULES  
 and DETAILS  
 SHEET NUMBER:

**P2.00**

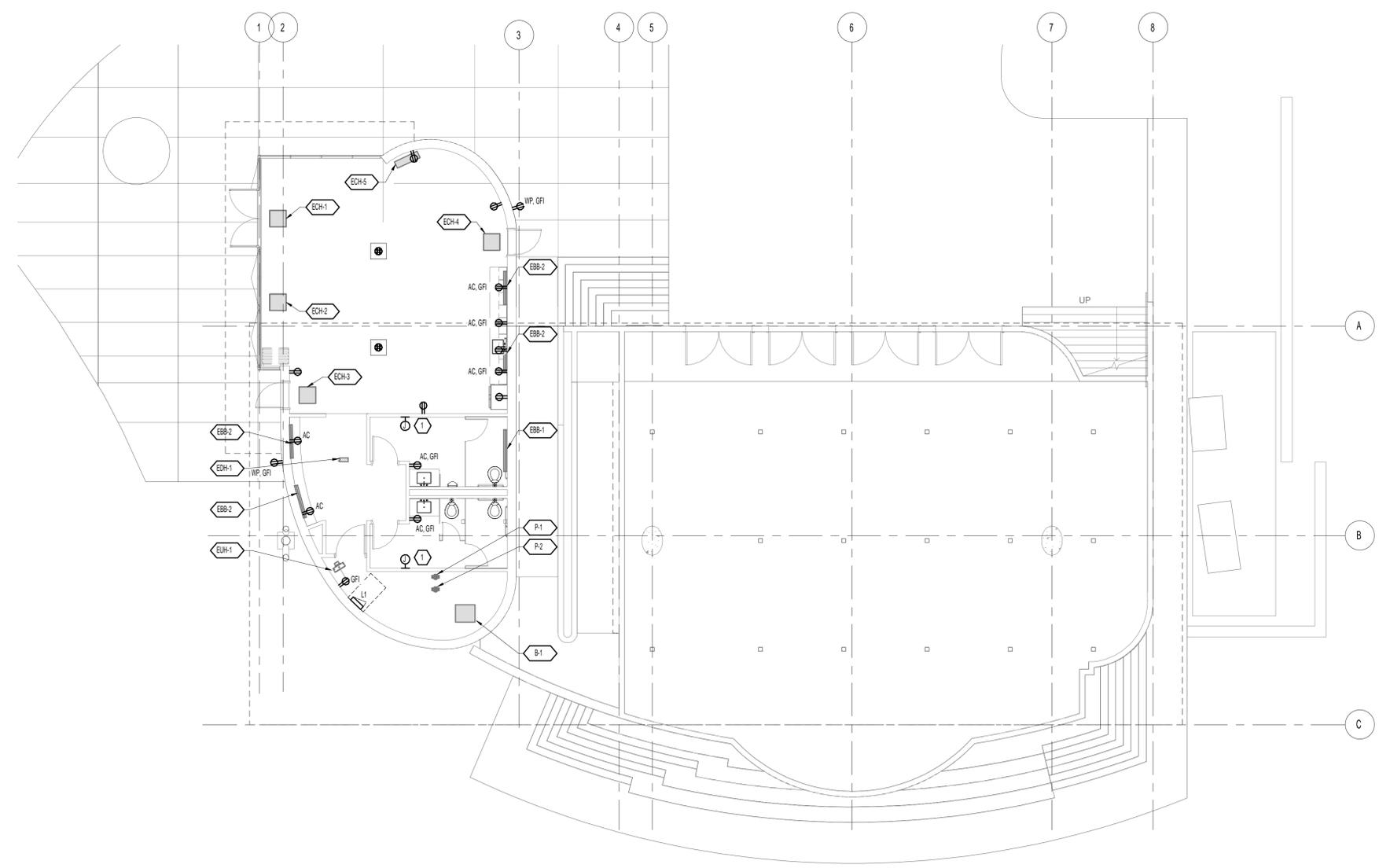


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**SHEET NOTES**

- 1. NOTES

**KEY NOTES**

- 1. HAND DRYER.

**1 POWER PLAN - BACKSTAGE LEVEL**  
 SCALE: 1/8" = 1'-0"



**HIDEAWAY PARK STAGE**  
 Winter Park, CO, 80402

REVISION	DATE

PROJECT NUMBER: 140800  
 PROJECT DATE: 01.12.2015

SHEET TITLE:  
 POWER PLAN - BACKSTAGE LEVEL

SHEET NUMBER:

**E1.00**

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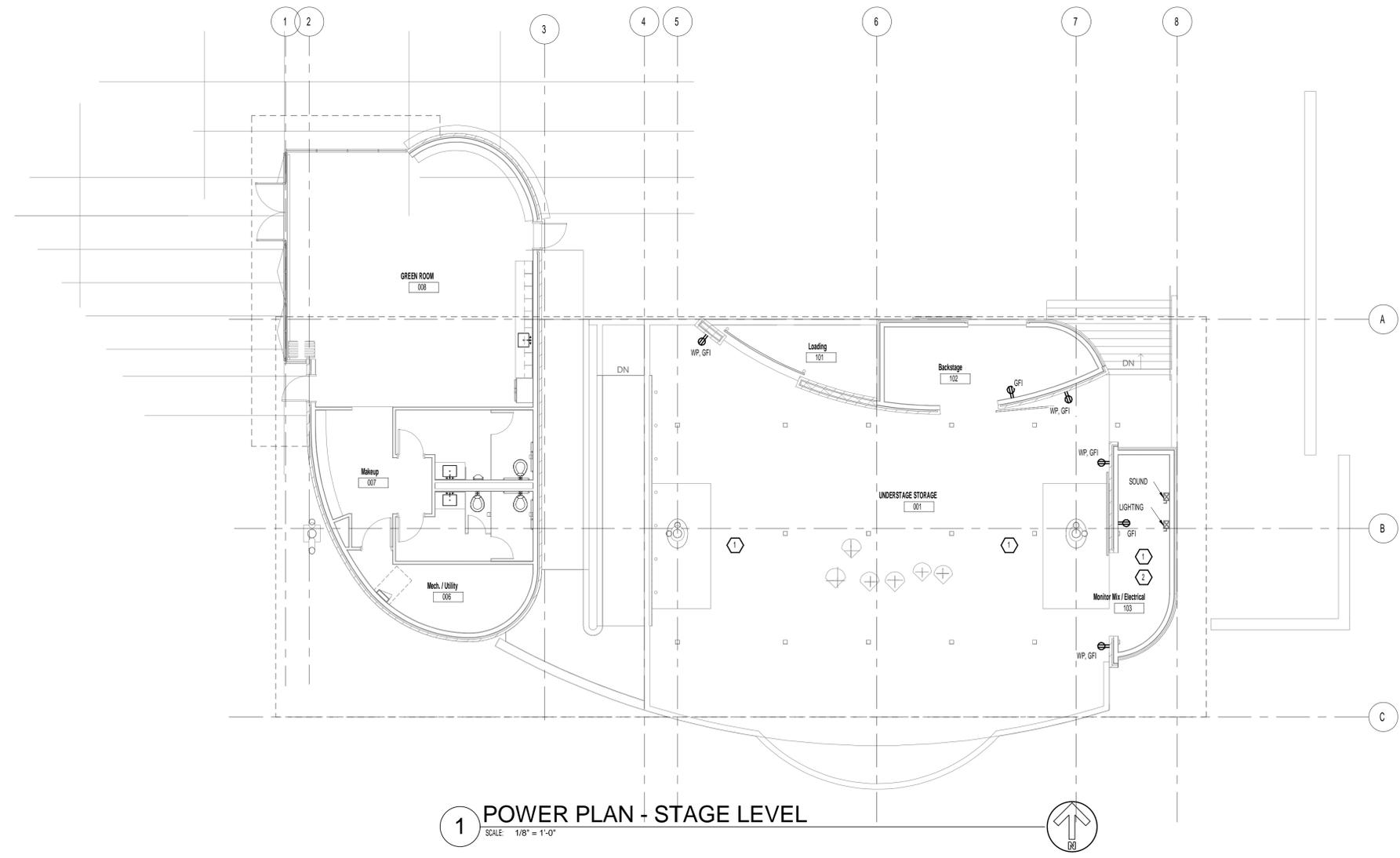
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**SHEET NOTES**

1. NOTES

**KEY NOTES**

- 1 PROVIDE REMOVABLE BLOCK-OUTS IN FLOOR FOR SOUND AND LIGHTING CABLE ROUTING.
- 2 PROVIDE (3) 4" UNDERGROUND CONDUITS FROM SIDE STAGE ROOM TO FRONT OF STAGE PULL-BOX FOR AUDIENCE AREA SOUND AND LIGHTING CONTROL PANELS.



**1 POWER PLAN - STAGE LEVEL**  
 SCALE: 1/8" = 1'-0"

**HIDEAWAY PARK STAGE**  
 Winter Park, CO, 80482

REVISION	DATE

PROJECT NUMBER: 140800  
 PROJECT DATE: 01.12.2015

SHEET TITLE:  
 POWER PLAN - STAGE LEVEL

SHEET NUMBER:  
**E1.01**

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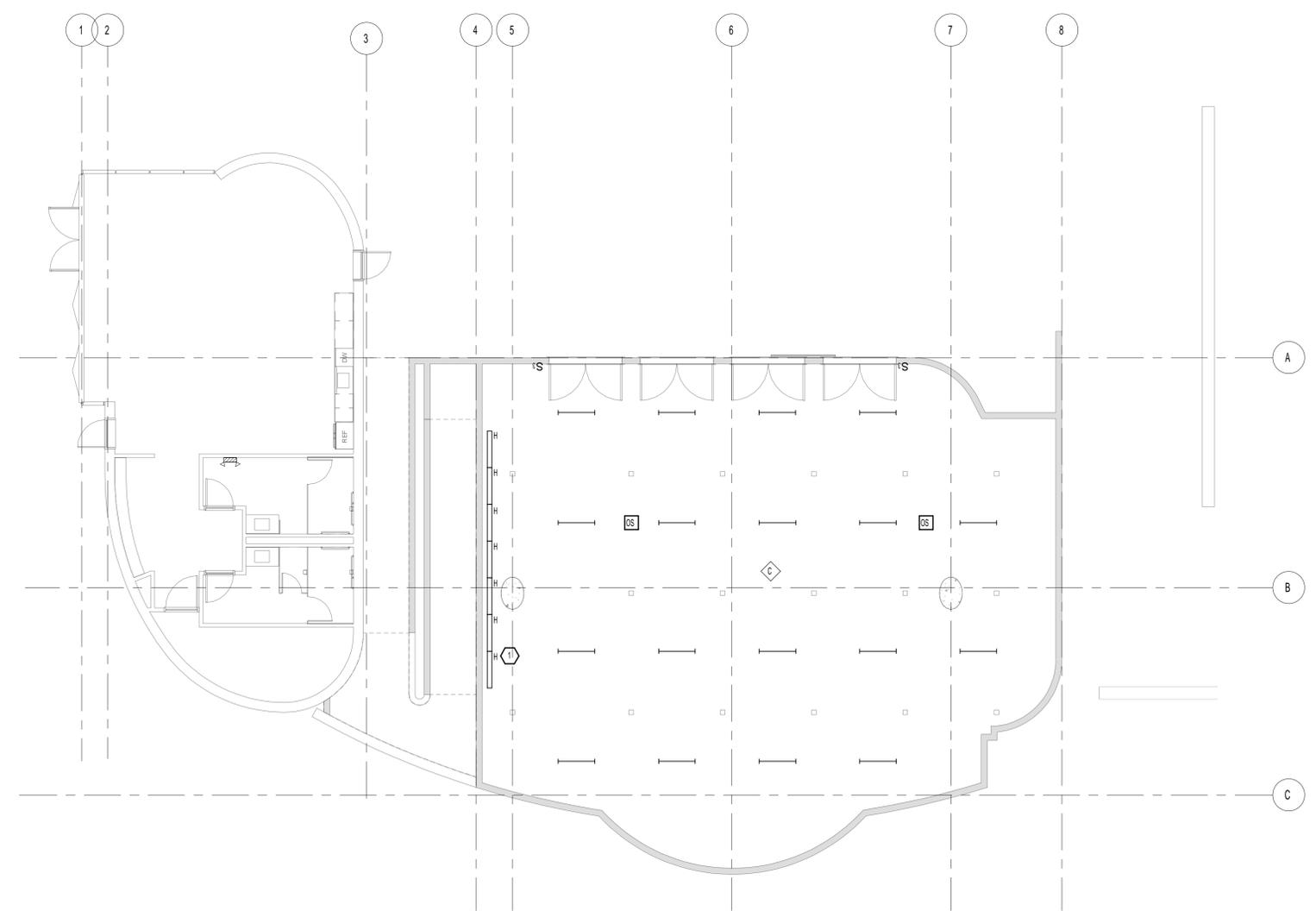
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**SHEET NOTES**

1. NOTES

**KEY NOTES**

① TYPE H UPLIGHTS SHALL BE RECESSED MOUNTED IN CONCRETE STAGE TO UPLIGHT WIND SCREEN. COORDINATE EXACT LOCATIONS WITH ARCHITECT/ENGINEER PRIOR TO ROUGH-IN.



**1 LIGHTING PLAN -BACKSTAGE LEVEL**  
SCALE: 1/8" = 1'-0"

**HIDEAWAY PARK STAGE**  
Winter Park, CO, 80482

REVISION	DATE

PROJECT NUMBER: 140800  
PROJECT DATE: 01.12.2015

SHEET TITLE:  
LIGHTING PLAN -  
BACKSTAGE LEVEL

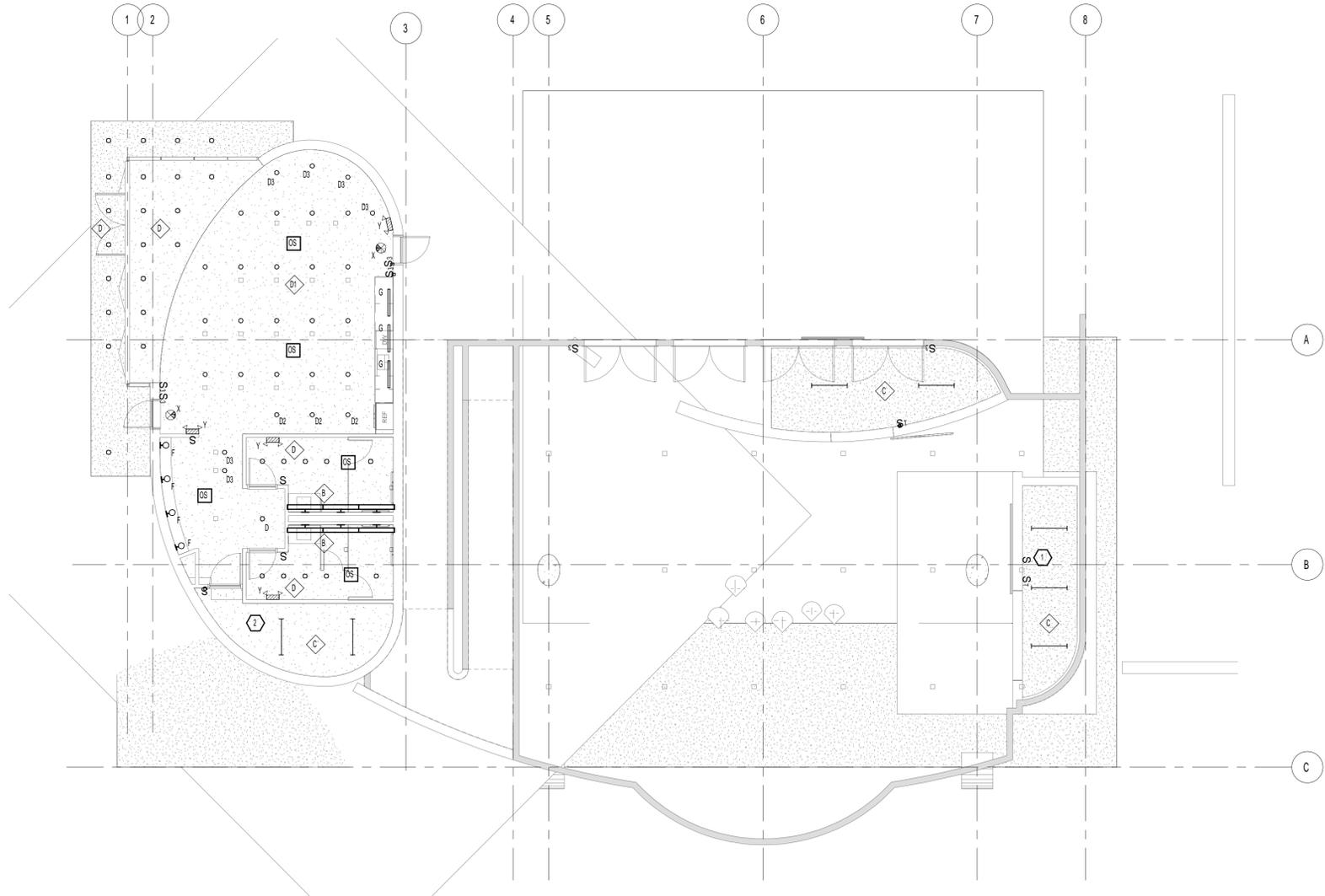
SHEET NUMBER:  
**E2.00**

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**1 LIGHTING PLAN - STAGE LEVEL**  
 SCALE: 1/8" = 1'-0"

**SHEET NOTES**

1. NOTES

**KEY NOTES**

- 1 PROVIDE DMX CONTROL STATION FOR CONTROLLING ROOF MOUNTED LIGHTING DURING A PERFORMANCE.
- 2 PROVIDE THREE POLE CONTACTOR AND DIGITAL ASTRONOMIC TIMESLOCK TO CONTROL BUILDING AND STAGE EXTERIOR LIGHTING. PROVIDE DMX LIGHTING CONTROLLER FOR CONTROLLING TYPE A AND X1 LIGHTS (SEE ROOF LIGHTING PLAN).

**HIDEAWAY PARK STAGE**  
 Winter Park, CO, 80482

REVISION	DATE

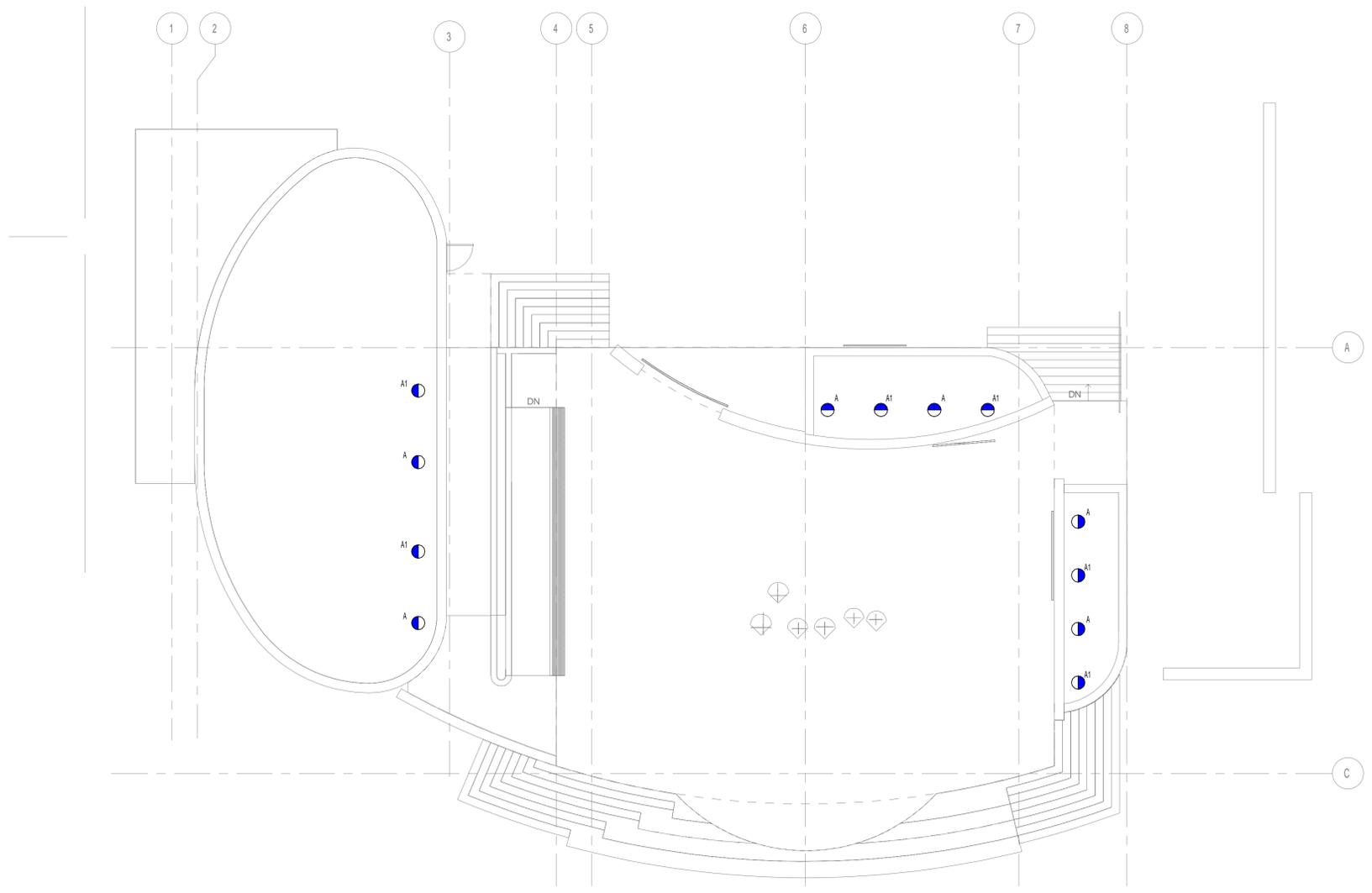
PROJECT NUMBER: 140800  
 PROJECT DATE: 01.12.2015  
 SHEET TITLE: LIGHTING PLAN - STAGE LEVEL  
 SHEET NUMBER: **E2.01**

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**1 LIGHTING PLAN - ROOF**  
 SCALE: 1/8" = 1'-0"

**HIDEAWAY PARK STAGE**  
 Winter Park, CO, 80402

REVISION	DATE

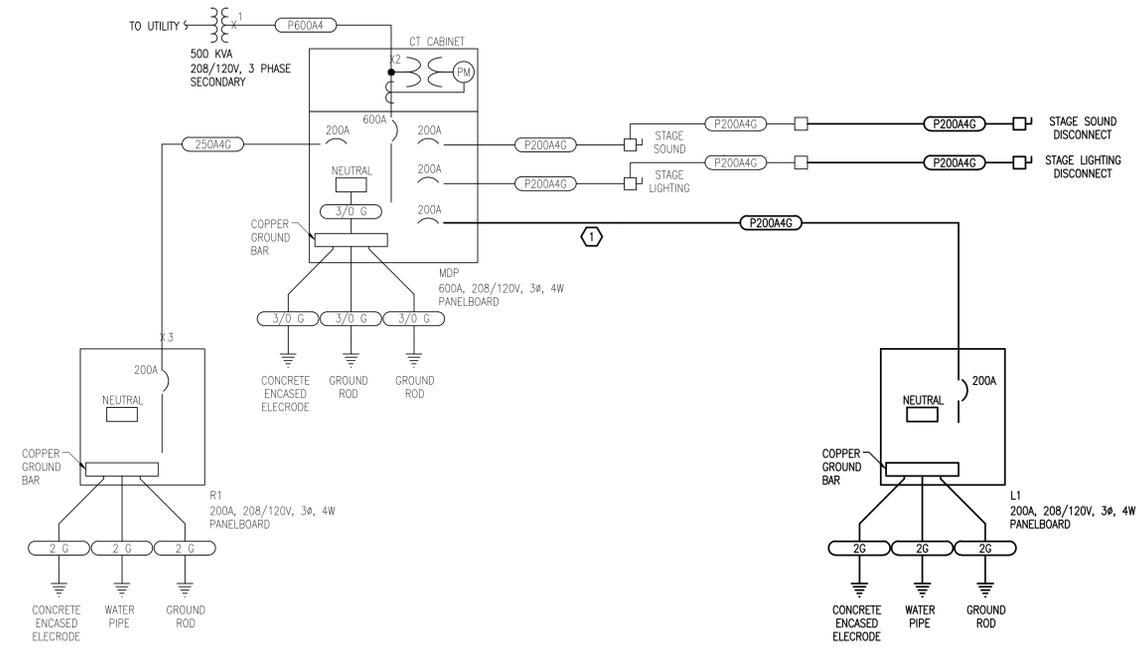
PROJECT NUMBER: 140800  
 PROJECT DATE: 01.12.2015  
 SHEET TITLE: LIGHTING PLAN - ROOF  
 SHEET NUMBER: **E2.03**

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**HIDEAWAY PARK STAGE**  
 Winter Park, CO, 80482



**ONE-LINE DIAGRAM**

**SHEET NOTES**

1. VERIFY EXISTING SWITCHGEAR, CONDUCTOR AND DISCONNECT SIZES PRIOR TO COMMENCING WORK.

**KEY NOTES**

1. USE EXISTING UNDERGROUND 2-1/2" CONDUIT FOR FEEDER CONDUCTORS. VERIFY EXACT LOCATION OF CONDUIT PRIOR TO TRENCHING.

LUMINAIRE SCHEDULE										
KEY	QTY	LED TYPE	DESCRIPTION	FINISH	MOUNTING	MANUFACTURER	CATALOG NUMBER	VOLTS	VA	NOTES
A	N/A	10,500 LUMENS, 2700K-6000K DYNAMIC WHITE	17.5" APERTURE LED WITH DYNAMIC WHITE LEDS. DMX DIMMING DRIVER, IP67 RATING, VERY NARROW SPOT DISTRIBUTION, EXTRUDED ALUMINUM HOUSING AND SNOUT ACCESSORY	PER ARCHITECT	SURFACE YOKO MOUNT	LUMENPULSE	LBX-HO-120-DWH-DMX1FX-VNS-X-SY-LBX-SN-BK	120	205	
A1	N/A	9000 LUMENS, 2700K-6000K DYNAMIC WHITE	SAME AS TYPE A EXCEPT WITH WIDE FLOOD DISTRIBUTION	PER ARCHITECT	SURFACE YOKO MOUNT	LUMENPULSE	LBX-HO-120-DWH-DMX1FX-WFL-X-SY-LBX-SN-BK	120	205	
B	N/A	500 LUMENS/FT UP AND DOWN, 3000K	4' x 5' TALL CONTINUOUS LED UP DOWN LIGHT WITH INTEGRAL DRIVER AND EXTRUDED ALUMINUM HOUSING	PER ARCHITECT	SURFACE WALL	NEORAY	S23-DI-W-I-L30-SR-X-1-22-SI-S93S-X	120	7/FT	REFER TO ARCH PLANS FOR RESTROOM WALL LENGTH.
C	N/A	3000 LUMEN, 3000K	3.5' x 3.3' TALL X 48" LED STRIPLIGHT WITH INTEGRAL DRIVER	STANDARD	SURFACE OR PENDANT	LITHONIA	ZL2V-L48-3000-MDD-MVOLT-3000K-80-WH	120	42	
D	N/A	1200 LUMEN, 3000K, 90 CRI	3" SQUARE APERTURE LED DOWNLIGHT WITH 40 DEGREE BEAM SPREAD AND DIMMABLE DRIVER	PER ARCHITECT	RECESSED	TECH LIGHTING	E3S-XX-LH930-4-D-X-X-E3S-X-30-X	120	19	
D1	N/A	XICATO 1600 LUMEN, 3000K	4" SQUARE APERTURE LED DOWNLIGHT WITH 60 DEGREE BEAM SPREAD AND DIMMABLE DRIVER	PER ARCHITECT	RECESSED	TECH LIGHTING	E4S-F-X30-60-D-X-X-E4S-X-30-X	120	27	
D2	N/A	XICATO 1600 LUMEN, 3000K	4" SQUARE APERTURE LED ADJUSTABLE WITH 60 DEGREE BEAM SPREAD AND DIMMABLE DRIVER	PER ARCHITECT	RECESSED	TECH LIGHTING	E4S-F-X30-60-A-X-X-E4S-X-30-X	120	27	
D3	N/A	XICATO 1600 LUMEN, 3000K	4" SQUARE APERTURE LED WALLWASHER WITH DIMMABLE DRIVER	PER ARCHITECT	RECESSED	TECH LIGHTING	E4S-F-W-X30-X-X-E4S-X-30-X	120	27	
F	N/A	610 LUMEN, 3000K	14" x 5.5" x 2.6" DEEP LED MIRROR LIGHT WITH DIMMABLE DRIVER AND PRESSED ETCH GLASS DIFFUSER	PER ARCHITECT	SURFACE WALL	WAC LIGHTING	FM-4014-27-X	120	31	
G	N/A	700 LUMEN, 3000K	4.5" x 1.3" x 24" LED UNDERCABINET LIGHT WITH INTEGRAL OCCUPANCY SENSOR AND EXTRUDED ALUMINUM HOUSING	STANDARD	SURFACE	KENALL	AUCLED-I-MH-11L30K-24-120-MS	120	13	
H	N/A	800 LUMENS PER FOOT, 3000K	4.5" APERTURE LINEAR UPLIGHT WITH IP68 SEALED OPTICAL CHAMBER AND POTTED DMX DIMMABLE POWER SUPPLY	STANDARD	RECESSED STAGE FLOOR	LUMENPULSE	LO-HO-24-48-30K-WW-X-X-PACBOX-120-24-DMX-LGR80-48-GRD	120	15ft	
L	N/A	3.9W/45 LUMENS, 3000K LED	5" x 3" LED STAINLESS STEEL STEPLIGHT WITH INTEGRAL DRIVER, MET LOCATION LISTED	STANDARD	RECESSED	WAC LIGHTING	WL-LED1000-C-SS	120	4	
X	N/A	LED	EDGE LIT LED EXIT SIGN WITH INTEGRAL BATTERY	PER ARCHITECT	SURFACE	EVENLITE	SOV-EM-SERIES	120	5	
Y	N/A	5W/MR16	12" D 3.3" X 5.5" TALL EMERGENCY LIGHT WITH INTEGRAL BATTERY	PER ARCHITECT	SURFACE	EVENLITE	TEB2-6-W-SD	120	5	

LUMINAIRE SCHEDULE NOTES:

PANEL L1										
FED FROM: MDP			VOLTAGE: 120/208 V			TYPE: PANELBOARD				
200 AMP MAIN RATED AT 80%			3 PH			MOUNTING: SEE PLAN				
N/A AMP MAIN LUGS			4 W			PANEL COVER: (SEE SPECIFICATIONS)				
200 AMP BUS			50 Hz			NEUTRAL BUS: YES				
(SEE SPECIFICATIONS) BUSING			NOTE: 1.			GROUND BUS: YES ISOLATED GND: NO				
(SEE FAULT SCHEDULE) SYMMETRICAL RMS AMPS			2.							
PANEL SHORT CIRCUIT RATING			4.							
NOTE	DESCRIPTION	CCT VA	BREAKER AMP / P	CCT PH	BREAKER AMP / P	CCT VA	DESCRIPTION	NOTE		
B-1		0	20 / 1	1 A 2	20 / --	833	EBB-1			
SP-1		0	20 / 1	3 B 4	-- / --	833				
TEF-1		0	20 / 1	5 C 8	-- / 3	833				
EF-1		0	20 / 1	7 A 8	20 / --	868	EBB-2			
ECH-1		1333	20 / --	9 B 10	-- / --	868				
		1333	-- / --	11 C 12	-- / 3	868				
		1333	-- / 3	13 A 14	20 / 1	0				
ECH-2		1333	20 / --	15 B 16	20 / 1	0				
		1333	-- / --	17 C 18	20 / 1	0				
		1333	-- / 3	19 A 20	20 / 1	0				
ECH-3		666	20 / --	21 B 22	20 / 1	0				
		666	-- / --	23 C 24	20 / 1	0				
		666	-- / 3	25 A 26	20 / 1	0				
ECH-4		666	20 / --	27 B 28	20 / 1	0				
		666	-- / --	29 C 30	20 / 1	0				
		666	-- / 3	31 A 32	20 / 1	0				
ECH-5		1333	20 / --	33 B 34	20 / 1	0	SPARE			
		1333	-- / --	35 C 36	20 / 1	0	SPARE			
		1333	-- / 3	37 A 38	20 / 1	0	SPARE			
SPARE		0	20 / 1	39 B 40	20 / 1	0	SPARE			
SPARE		0	20 / 1	41 C 42	20 / 1	0	SPARE			
		0		A		0				
		0		B		0				
		0		C		0				

PANEL LOADING SUMMARY				
LOAD TYPE	PH A	PH B	PH C	TOTAL
INCANDESCENT	0.0	0.0	0.0	0.0 kVA
INDUCTION LTG	0.0	0.0	0.0	0.0 kVA
RECEPTACLES	0.0	0.0	0.0	0.0 kVA
MOTORS	0.0	0.0	0.0	0.0 kVA
APPLIANCES	0.0	0.0	0.0	0.0 kVA
HEAT	6.8	6.8	6.8	20.5 kVA
COMPUTER	0.0	0.0	0.0	0.0 kVA
OTHER	0.0	0.0	0.0	0.0 kVA
NONCOINCIDENT	0.0	0.0	0.0	0.0 kVA
PEAK LOAD	0.0	0.0	0.0	0.0 kVA
TOTAL	6.8	6.8	6.8	20.5 kVA

NEC DEMAND LOAD SUMMARY				
LOAD TYPE	POWER kW	POWER FACTOR	DEMAND FACTOR	CALCULATED LOAD
INCANDESCENT	0.0	@ 100%	= 0.0	@ 125% = 0.0 kVA
INDUCTION LTG	0.0	@ 95%	= 0.0	@ 125% = 0.0 kVA
RECEPTACLES	0.0	@ 95%	= 0.0	@ 100% = 0.0 kVA
MOTORS	0.0	@ 95%	= 0.0	@ 100% = 0.0 kVA
APPLIANCES	0.0	@ 80%	= 0.0	@ 100% = 0.0 kVA
HEAT	20.5	@ 100%	= 20.5	@ 125% = 25.6 kVA
COMPUTER	0.0	@ 95%	= 0.0	@ 100% = 0.0 kVA
OTHER	0.0	@ 85%	= 0.0	@ 100% = 0.0 kVA
NONCOINCIDENT	0.0	@ 95%	= 0.0	@ 0% = - kVA
PEAK LOAD	0.0	@ 90%	= 0.0	@ 125% = 0.0 kVA
25 % SPARE	4.6	@ 90%	= 5.1	@ 100% = 5.1 kVA
TOTAL	25.0 kW			26.0 kVA

PHASE BALANCE (%)				
A-B	B-C	C-A	PF	
100	100	100	95	

MIN. PANEL AMPACITY	
85	AMPERES

REVISION	DATE

PROJECT NUMBER:	140800
PROJECT DATE:	01.12.2015
SHEET TITLE:	ELECTRICAL SCHEDULES and DETAILS
SHEET NUMBER:	E3.00



# MEMORANDUM

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To: Town Council  
From: Drew Nelson, Town Manager and Bill Wengert, Town Finance Director  
Date: July 7, 2015  
Re: November 2015 Ballot Measures

## **BACKGROUND**

Over the past year, the Town Council has identified numerous potential projects that Town Staff was tasked with reviewing and providing recommendations back to the Council on best practices to move forward. Specifically, the Town Council has identified improved transit services as the top priority for Town Staff to focus on, with additional emphasis on economic development via the Strategic Plan Economic Development effort currently underway in conjunction with the Town of Fraser.

In consultation with transit experts working on behalf of the Town of Winter Park, the Town has identified a (very) preliminary budget expenditure for transit in FY2016 for both the Town and Winter Park Resort. In lieu of the parties providing funding out of the Town's (and Resort's) General Fund, the Town Council has shown a willingness to consider requesting additional revenues from the Winter Park voters in compliance with State law. More directly, the Town Council has authorized Town Staff to work on appropriate ballot measures that would authorize an additional revenue stream to provide for transit and trail improvements. For the upcoming year, anticipated operational expenditures for transit services total \$2,070,000, with an additional \$600,00 to \$3,500,000 in annual capital expenditures necessary to fully deploy the community infrastructure necessary for a resort community of Winter Park's stature (please see attached transit budget).

In addition, during preliminary analyses by the subcommittee dedicated to economic development in the Fraser Valley, the deployment of broadband internet service has been heavily discussed. Other communities in Colorado have experienced hurdles in deploying broadband internet services that far exceed what constituents in Winter Park currently receive via private service, mostly due to a prohibition on municipalities deploying broadband internet established with the adoption of Senate Bill 05-152, which explicitly prohibits municipal broadband absent a exclusion vote by the local electorate.

Communities throughout Colorado, both large and small, have voted to exclude themselves from the prohibitions set out in SB 05-152, which was an industry-sponsored bill enacted in a time in which little understanding of the importance of broadband internet options was available to both legislators and voters. An exemption from the requirements of SB 05-152 would allow the Town multiple options in the deployment of broadband internet services, whether that be through the private market, the public realm, or a public-private partnership. An exemption from SB 05-152 simply gives the Town Council the tools necessary to design and implement broadband services within Winter Park.

## **ANALYSIS**

### ***Transit***

The Town Council has had considerable interest in deploying public transit services over the past few years, culminating in the approval of a Memorandum of Understanding (MOU) with Winter Park Resort to transition the service over to the Town. During negotiations, it became clear that a new revenue source would be necessary in order to operate transit services in a safe and sustainable manner over the long term. Below is an analysis of the potential funding sources and very brief analysis of each:

- **Sales Tax:** As previously identified by the Town Council, a sales tax is a likely target for long-term transit and trail funding. The Town currently has a 5% sales tax rate on all retail sales and lodging transactions. Discussions have centered around asking voters to consider a 2% increase, which would generate approximately \$1.58M annually.

### *Pros:*

- Affects all segments of the user pool

- Easy to manage since Town self-collects
- Currently supported by Winter Park Resort
- One ballot issue could make it easier to pass
- Can increase proportionately with increased economic development to help mitigate increases in future costs
- Could consider a 1% sales tax along with higher increased lodging tax (3%), property tax mill levy (8 mills), or along with an entertainment/seat tax

*Cons:*

- Could have slight negative impacts to visitation (i.e. cost-conscious groups)
- Essentially creates a cap on sales tax revenues to pay for future projects
- Winter Park would have the highest sales tax rate amongst comparable communities
- May negatively impact spending within the Town as neighbors would have far lower rates
- Could drive development to neighboring communities, as local business may have trouble competing with lower sales tax rates
- With transit in place, it would be easier for local businesses to relocate if their customers can still reach them
- May become more volatile as consumer spending patterns continue to move towards service spending versus commodity spending; Winter Park does not collect tax on service spending
- Lodging properties are already charging 5%-10% additional fees on top of existing taxes
- Cooper Creek Square, Winter Park Resort, and potentially others are already charging a 1%-2% "resort fee" affecting retail and food/bar sales
- Winter Park would have the highest transit tax of all CAST communities
- Continued spending on the Front Range and especially online would contribute to volatility
- Potential impacts to businesses due to "total ticket" impact

- Property Tax: Currently, the property owners in the Town of Winter Park enjoy a relatively low property tax level. The Town currently receives revenues from a 3.765 mill levy rate, which is anticipated to generate \$358,394 in 2015. The Town would need to collect an additional 16 mills in order to generate enough revenue to support transit services, which would increase annual property taxes for residential owners by \$127.36 for each \$100,000 in valuation, and commercial and vacant properties \$464 for each \$100,000 in valuation.

*Pros:*

- Would affect a taxation area that is currently low in comparison to other communities
- Property values are relatively stable over the long term, reducing fluctuations
- Would affect second homeowners, who currently use the service heavily
- Provides value added amenities to second homeowner/renter properties as they are able to "sell" the year-round transit services
- Minimal impact on property taxes to homeowners
- Could be coupled with other takes to lower impact to homeowners and businesses
- Could look at reducing or eliminating the forestry mill and redirecting that towards transit and trails, reducing the overall mill increase to 14 mills
- Increased development will help in addressing increasing transit services costs
- May be easier to pass in election instead of projects (i.e. government facilities)

*Cons:*

- Disproportionately affects commercial property owners
- Does not affect visitors, which clearly make up the majority of transit riders
- Direct and more significant impact on our larger property owners/employers
- Somewhat limited resource from Winter Park Resort, as many Resort facilities pay no property tax (i.e. on-mountain improvements pay no property tax)
- Fluctuates greatly with significant downturns (lost 21% in one valuation period)
- Possible impact on home sales and building
- If combined with a sales tax increase, may be harder to get passed in election
- Impacts a future funding source for capital projects

- Entertainment ("Seat") Tax: This type of tax would affect segments of the economy that are currently not taxed, such as skiing lift tickets, rafting trips, snowmobile rides, and the like. Town Staff has not done an analysis on the size of these activities in the local economy, but it obviously is significant.

*Pros:*

- Currently untapped revenue stream
- Would affect a large user pool, spreading the impact amongst many users
- Has not been tapped previously as it was being considered for transportation purposes

- Could be coupled with increases in other revenue sources
- Mainly affects consumers that use the transit system
- Would be a stable source of revenue
- Could help even out tax collections over the year due to early season pass sales
- Pass sales would not be significantly impacted as pricing is only impacted at the end of the sale
- Potential to collect sales tax on other services is possible with expanded wording on the measure

*Cons:*

- Would not have the support of Winter Park Resort
  - Winter Park would be one of 3 resort communities with such a tax, possibly affecting competitiveness
  - Would be difficult to establish the exact tax rate due to fluctuations in pass pricing
- **Use Tax/User Fees:** The Town currently does not charge a use tax on either construction materials or on vehicle sales. The size of these areas of opportunity are not known but are highly volatile.
  - **General Fund:** The Town could continue to fund transit out of General Fund dollars, but would need to significantly increase contributions. The Town currently spends approximately \$500,000 annually for transit services.

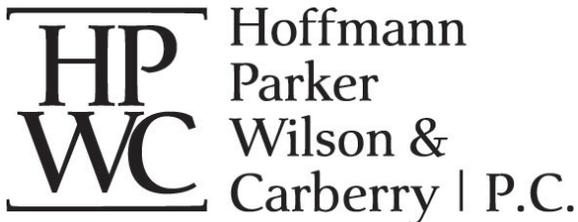
In consideration of this, the Town Council could ask voters to employ all or parts of these revenue sources for transit services at variable levels to meet the anticipated transit budget. In addition, other revenue sources (i.e. Grand County) should pay in to the system, as they too collect sales tax in our Town on all consumable goods and lodging sales.

***Broadband Internet Services***

As noted above, the Town is currently hamstrung in implementation of broadband services due to legislation in the Colorado Revised Statutes. Fortunately, communities have the ability to opt out of the provisions of SB 05-152 through a ballot measure presented to voters. The Town Attorney has provided draft language (see attached) for a ballot measure to exempt the Town from the provisions of SB 05-152. This simply would provide the Town with options whereas it currently has to rely exclusively on the private sector for broadband deployment.

**RECOMMENDATION**

Town staff has been working on these matters as the Town Council has directed us. Attached are both an election calendar prepared by the Town Attorney, as well as a proposed ballot question(s) that would establish new revenue streams for transit and trail operations and maintenance as well as an exemption from the prohibitions in SB 05-152. Staff is requesting direction on preparation of the ballot for consideration in November, and would work in conjunction with the Grand County Clerk to establish our ballot questions and election procedures.



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Kathryn M. Sellars  
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**TOWN OF WINTER PARK**  
**MEMORANDUM**

**TO: DREW NELSON, TOWN MANAGER**  
**TARYN MARTIN, TOWN CLERK**

**FROM: KENDRA L. CARBERRY, TOWN ATTORNEY** *kc*  
**KATHRYN M. SELLARS, ESQ.**

**DATE: JULY 1, 2015**

**RE: 2015 SPECIAL ELECTION**

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What follows is a combined election calendar and checklist for the Town's November 3, 2015 special election. This calendar assumes that the election will be a coordinated election with Grand County with one ballot question and one ballot issue under TABOR. We have also prepared a resolution calling for the special election and submitting the ballot question and ballot issue to the voters. Please call us with any questions you may have.

\_\_\_\_\_ **100 days before election – July 24, 2015 (July 26 is a Sunday)**

Last day to notify County, in writing, of Town's participation in coordinated election. C.R.S. §§ 1-1-106(5); 1-7-116(5).

\_\_\_\_\_ **90 days before election – August 5, 2015**

\_\_\_\_\_ Last day for County to send proposed election plan for conducting mail ballot election to Secretary of State. C.R.S. § 1-7.5-105.

\_\_\_\_\_ Last day for County to designate voter centers and drop-off locations. SOS Rule § 7.9.

\_\_\_\_\_ **10<sup>th</sup> day of month – August 10/September 10/October 11 (October 10 is a Sunday)**

Town Clerk must deliver new voter registration records to County Clerk. C.R.S. § 1-2-202(2).

\_\_\_\_\_ **70 days before election – August 25, 2015**

Last day to sign IGA with County. C.R.S. § 1-7-116(2).

\_\_\_\_\_ **60 days before election – September 4, 2015**

Last day for Town Clerk to certify ballot to County Clerk. C.R.S. § 1-5-203(3).

\_\_\_\_\_ **Friday before 45 days before election – September 18, 2015**

Last day to file pro and con statements with Town Clerk regarding TABOR issues. C.R.S. § 1-7-901(4); Colo. Const. Art. X § 20(3)(b)(v).

\_\_\_\_\_ **45 days before election – September 18, 2015 (September 19 is a Saturday)**

Last day for County Clerk to send ballots to overseas military voters. C.R.S. § 1-8.3-110(a).

\_\_\_\_\_ **43 days before election – September 21, 2015**

Last day for Town Clerk to summarize all comments filed in support of or in opposition to TABOR issue. C.R.S. § 1-7-903(3).

\_\_\_\_\_ **42 days before election – September 22, 2015**

Last day for Town Clerk to deliver TABOR notices to County Clerk unless otherwise provided by IGA. C.R.S. § 1-7-904

\_\_\_\_\_ **30 days before election – October 2, 2015 (October 4 is a Sunday)**

Last day for County Clerk to mail TABOR notices. Colo. Const. Art. X § 20(3)(b).

\_\_\_\_\_ **28 days before election – October 6, 2015**

Town Clerk to deliver voter registration records to County Clerk. C.R.S. § 1-2-202(2).

\_\_\_\_\_ **25 days before election – October 9, 2015**

Last day to withdraw TABOR issue from ballot. C.R.S. § 1-5-208(2).

\_\_\_\_\_ **22 days before election – October 13, 2015 (October 12 is Columbus Day)**

\_\_\_\_\_ Last day to register by mail or at a voter registration agency, driver's license office or voter registration drive. C.R.S. § 1-2-201(3)(b)(I).

\_\_\_\_\_ First day County Clerk may mail ballots. C.R.S. § 1-7.5-107(3)(a)(I).

\_\_\_\_\_ **20 days before election – October 14, 2015**

\_\_\_\_\_ Last day for County Clerk to post signs at polls. C.R.S. § 1-5-106.

\_\_\_\_\_ Last day for County Clerk and/or Town Clerk (as stated in IGA) to publish notice of election. C.R.S. §§ 1-1-104(34), 1-5-205(1), 1-7.5-107(2.5)(a)(I).

\_\_\_\_\_ **18 days before election – October 16, 2015**

\_\_\_\_\_ Last day for County Clerk to mail ballots (other than overseas military ballots). C.R.S. § 1-7.5-107(3)(a)(I).

\_\_\_\_\_ **15 days before election – October 19, 2015**

\_\_\_\_\_ First day that voter service and polling centers must open. C.R.S. § 1-5-102.9.

\_\_\_\_\_ Electors who have received a mail ballot may vote early at voter service and polling center. C.R.S. § 1-7.5-107.2(1).

\_\_\_\_\_ Counting of mail ballots may begin. C.R.S. § 1-7.5-202(2).

\_\_\_\_\_ Last day for County and Town to appoint boards of canvassers and for Town to notify County of appointments, unless otherwise specified in IGA. C.R.S. § 1-10-201(1).

\_\_\_\_\_ **8 days before election – October 26, 2015**

\_\_\_\_\_ Last day to register to vote on-line. C.R.S. § 1-2-201(3)(b)(III).

\_\_\_\_\_ First day voter service and polling centers must be open. C.R.S. § 1-7.5-107(4.5)(c).

\_\_\_\_\_ **7 days before election – October 27, 2015**

\_\_\_\_\_ Last day to request absentee ballot to be mailed. C.R.S. § 1-7.5-116(3).

\_\_\_\_\_ **Friday before election – October 30, 2015**

\_\_\_\_\_ Last day to request absentee ballot in person. C.R.S. § 1-7.5-116(3).

\_\_\_\_\_ Drop-off locations must be open. C.R.S. § 1-7.5-107(4.3)(a) and (b).

\_\_\_\_\_ **Election Day – November 3, 2015**

\_\_\_\_\_ Polls open at 7:00 a.m. and close at 7:00 p.m. Any voters standing in line at the close of the polling locations may cast their vote. C.R.S. § 1-7-101.

\_\_\_\_\_ Electors may register to vote in person at voter service and polling centers. C.R.S. § 1-7.5-107(4)(b)(I)(C).

\_\_\_\_\_ After all votes are counted, judges must file certificate and statement. C.R.S. §§ 1-7-601; 1-7.5-208.

\_\_\_\_\_ **2 days after election – November 5, 2015**

Deadline for County Clerk to send missing signature, signature verification, and missing ID letters for mail and provisional ballots. C.R.S. §§ 1-7.5-107(3.5)(d); 1-8.5-105(3)(a).

\_\_\_\_\_ **8 days after election – November 12, 2015 (November 11 is Veterans' Day)**

\_\_\_\_\_ Last day for ballots cast by military and overseas electors to be received by County Clerk. C.R.S. §§ 1-8.3-111; 1-8.3-113(2).

\_\_\_\_\_ Last day for correction of provisional ballots. C.R.S. 1-8.5-105(3)(a).

\_\_\_\_\_ **14 days after election – November 17, 2015**

Last day for County Clerk to verify and count provisional ballots. C.R.S. § 1-8.5-105(5).

\_\_\_\_\_ **17 days after election – November 20, 2015**

Last day for canvass of election. C.R.S. § 1-10-102(1).

\_\_\_\_\_ **10 days after the abstract of votes is complete – ??**

Last day County Clerk must make available for inspection a certificate of votes cast for and against each ballot issue. C.R.S. § 1-11-103(2).

\_\_\_\_\_ **10 days after certificate of returns is filed – ??**

Last day to contest the election. C.R.S. § 1-11-213(4).

\_\_\_\_\_ **30 days after election – December 3, 2015**

Last day to complete mandatory recount, if required. C.R.S. § 1-10.5-103.

\_\_\_\_\_ **31 days after election – December 4, 2015**

Last day for interested party to request recount. C.R.S. § 1-10.5-106(2).

\_\_\_\_\_ **37 days after election – December 10, 2015**

Last day for board of canvassers to complete recount as a result of request of an interested party. C.R.S. § 1-10.5-106(2).

\_\_\_\_\_ **25 months and one day after election – December 4, 2017**

Election records may be destroyed. C.R.S. §§ 1-7.5-209; 1-7-802.

TOWN OF WINTER PARK

RESOLUTION NO. \_\_\_\_\_  
SERIES OF 2015

A RESOLUTION CALLING A SPECIAL ELECTION FOR NOVEMBER 3, 2015, TO BE COORDINATED WITH GRAND COUNTY AND GOVERNED BY THE UNIFORM ELECTION CODE, AND SUBMITTING A BALLOT ISSUE AND A BALLOT QUESTION TO THE REGISTERED ELECTORS OF THE TOWN AT THE NOVEMBER 3, 2015 SPECIAL ELECTION

WHEREAS, pursuant to Section 2.3 of the Town of Winter Park Home Rule Charter, the Town Council may call for a special election at least 45 days prior to such election; and

WHEREAS, the Town Council desires to call a special election to submit a ballot issue and a ballot question to the registered electors of the Town of Winter Park.

NOW THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF WINTER PARK, COLORADO, AS FOLLOWS:

Section 1. The Town shall have a special election on November 3, 2015. The purpose of such special election is for the registered voters of the Town to vote on one ballot issue and one ballot question. Such special election shall be coordinated with Grand County and governed by the Uniform Election Code of 1992, C.R.S. § 1-1-101, *et seq.*

Section 2. The following ballot issue shall be submitted to the registered electors of the Town of Winter Park at the November 3, 2015 special election:

SHALL THE TOWN OF WINTER PARK SALES, LODGING AND ACCOMMODATIONS TAX BE INCREASED BY \_\_\_\_\_ IN THE FIRST FISCAL YEAR AND BY WHATEVER ADDITIONAL AMOUNTS ARE RAISED ANNUALLY THEREAFTER BY THE IMPOSITION OF AN ADDITIONAL SALES, LODGING AND ACCOMMODATIONS TAX OF 2%, COMMENCING DECEMBER 1, 2015 AND CONTINUING THEREAFTER, WITH SUCH REVENUES TO BE COLLECTED, RETAINED AND EXPENDED FOR THE PURPOSE OF FUNDING THE STUDY, DESIGN, ENGINEERING, CONSTRUCTION AND MAINTENANCE OF PUBLIC TRANSIT, PUBLIC MULTI-MODAL TRANSPORTATION ALTERNATIVES, AND PUBLIC TRAILS WITHIN AND AROUND THE TOWN; AND SHALL ALL SUCH REVENUES BE COLLECTED, RETAINED AND EXPENDED AS A VOTER-APPROVED REVENUE CHANGE NOTWITHSTANDING ANY RESTRICTION UNDER ARTICLE X, SECTION 20 OF THE COLORADO CONSTITUTION OR ANY OTHER LAW?

Section 2. The following ballot question shall be submitted to the registered electors of the Town of Winter Park at the November 3, 2015 special election:

Shall the Town of Winter Park be authorized to provide high-speed Internet services

(advanced services), telecommunications services and/or cable television services to residents, businesses, schools, libraries, nonprofit entities and other users of such services, either directly or indirectly with public or private sector partners, as expressly permitted by Colorado Revised Statutes §§ 29-27-101 to 304, "Competition in Utility and Entertainment Services," without limiting the Town's home rule authority?

APPROVED AND PASSED this \_\_\_\_\_ day of July, 2015, by a vote of \_\_\_ to \_\_\_.

TOWN OF WINTER PARK

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Jimmy Lahrman, Mayor

ATTEST:

---

Taryn Martin, Town Clerk

	Mill Levy	Sales Tax	Lodging Tax	Sales Tax	Accomm Tax	Lodging Tax	Transit	Local Mkt District	Other	State	County
<b>Winter Park</b>	<b>3.765</b>	<b>8.900</b>	<b>8.900</b>	<b>5.000</b>	<b>1.000</b>	<b>4.000</b>	-	-	-	<b>2.900</b>	<b>1.000</b>
Fraser	8.290	7.900	9.700	4.000	-	1.800	-	-	-	2.900	1.000
Granby	7.234	7.900	9.700	4.000	-	1.800	-	-	-	2.900	1.000
Grand Lake	5.828	7.900	9.700	4.000	-	1.800	-	-	-	2.900	1.000
Kremmling	9.543	7.900	9.700	4.000	-	1.800	-	-	-	2.900	1.000
Aspen	3.854	9.300	11.300	2.400	-	2.000	0.400	-	-	2.900	3.600
Avon	12.258	8.400	12.400	4.000	4.000	-	-	-	-	2.900	1.500
Breckenridge	6.945	8.275	11.675	2.500	3.400	-	0.750	-	0.125	2.900	2.000
Copper Mountain	30.500	5.775	5.775	-	-	-	0.750	-	7.125	2.900	2.000
Crested Butte	10.806	8.500	8.500	4.000	-	-	0.600	4.000	-	2.900	1.000
Dillon	3.351	8.275	10.275	2.500	-	2.000	0.750	-	0.125	2.900	2.000
Durango	2.507	7.900	9.900	3.000	-	2.000	-	-	-	2.900	2.000
Estes Park	1.830	8.550	10.550	4.000	-	-	-	2.000	-	2.900	0.600
Frisco	0.798	7.775	10.125	2.000	-	2.350	0.750	-	0.125	2.900	2.000
Glenwood Springs	3.752	8.600	11.100	3.700	2.500	-	1.000	-	-	2.900	1.000
Grand Junction	8.000	7.650	10.650	2.750	-	3.000	-	-	-	2.900	2.000
Keystone		5.775	5.775	-	-	-	0.750	-	7.125	2.900	2.000
Minturn	17.934	8.400	9.700	4.000	-	1.500	0.500	-	-	2.900	1.000
Mt. Crested Butte	10.378	9.600	13.500	5.000	-	-	0.600	4.000	-	2.900	1.000
Mtn Village	13.604	8.400	12.400	4.500	-	4.000	-	-	-	2.900	1.000
Ouray	11.083	7.900	7.900	3.000	-	-	-	-	-	2.900	2.000
Silverthorne	-	7.775	9.775	2.000	-	2.000	0.750	-	0.125	2.900	2.000
Silverton	11.037	8.900	10.900	1.000	-	2.000	-	-	-	2.900	5.000
Snowmass	7.356	10.400	12.800	3.500	-	2.400	0.400	-	-	2.900	3.600
Steamboat Springs	-	8.650	11.650	4.500	1.000	-	-	2.250	-	2.900	1.000
Telluride	5.812	8.400	10.400	4.500	-	2.000	-	-	-	2.900	1.000
Vail	4.726	8.400	9.800	4.000	-	-	0.500	1.400	-	2.900	1.000

**Sales/Lodging Tax  
Impact of Increase - By Type**

	<b>4%</b>	<b>3%</b>	<b>2%</b>	<b>1%</b>	<b>15 yr avg</b>	<b>10 yr avg</b>
<b>Sales, Lodging &amp; Accom Tax</b>	<b>3,067,023</b>	<b>2,300,267</b>	<b>1,533,511</b>	<b>766,756</b>	<b>3,833,778</b>	<b>4,088,146</b>
<b>Sales Tax Only</b>	<b>2,289,955</b>	<b>1,717,466</b>	<b>1,144,977</b>	<b>572,489</b>	<b>2,862,443</b>	<b>3,059,965</b>
<b>Lodging &amp; Accommodation Tax</b>	<b>777,068</b>	<b>582,801</b>	<b>388,534</b>	<b>194,267</b>	<b>971,335</b>	<b>1,028,181</b>

**Table 4: Draft Ten-Year Financial Plan**

ITEM	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025
<b>Operating Costs</b>										
Public System	1,815,000	1,815,000	1,815,000	1,815,000	1,815,000	1,815,000	1,815,000	1,815,000	1,815,000	1,815,000
Administrative Exp.	70,000	70,000	70,000	70,000	70,000	70,000	70,000	70,000	70,000	70,000
Contracted Services	185,000	185,000	185,000	185,000	185,000	185,000	185,000	185,000	185,000	185,000
Subtotal	2,070,000	2,070,000	2,070,000	2,070,000	2,070,000	2,070,000	2,070,000	2,070,000	2,070,000	2,070,000
<b>Planning/Marketing</b>	30,000	40,000								
<b>Capital Costs:</b>										
Vehicles - Big	325,000	0	0	0	0	0	0	650,000		
Vehicles - Small	0						270,000			
Other: IT, Comm'tions										
Other equipment, facilities									500,000	500,000
Maint & Op Facility		40,000		3,000,000	3,000,000					
SUBTOTAL	325,000	40,000	0	3,000,000	3,000,000	0	270,000	650,000	500,000	500,000
<b>TOTAL</b>	<b>2,725,000</b>	<b>2,450,000</b>	<b>2,370,000</b>	<b>5,370,000</b>	<b>5,370,000</b>	<b>2,370,000</b>	<b>2,640,000</b>	<b>3,020,000</b>	<b>2,870,000</b>	<b>2,870,000</b>
<b>Revenues</b>										
<i>Operating</i>										
Contracted Services	155,000	155,000	155,000	155,000	155,000	155,000	155,000	155,000	155,000	155,000
Fraser Proportion*	280,000	280,000	280,000	280,000	280,000	280,000	280,000	280,000	280,000	280,000
WP Town General Fund	185,000	180,000	175,000	170,000	165,000	160,000	155,000	150,000	145,000	140,000
WP Town Sales Tax	1,250,000	1,250,000	1,250,000	1,250,000	1,250,000	1,250,000	1,250,000	1,250,000	1,250,000	1,250,000
CDOT Operating	200,000	205,000	210,000	215,000	220,000	225,000	230,000	235,000	240,000	245,000
SUBTOTAL	2,070,000	2,070,000	2,070,000	2,070,000	2,070,000	2,070,000	2,070,000	2,070,000	2,070,000	2,070,000
<i>Capital</i>										
CDOT Capital-Buses	500,000	250,000	250,000	500,000	250,000	250,000	500,000	250,000	250,000	350,000
Town Sales Tax	150,000	150,000	150,000	150,000	150,000	150,000	150,000	150,000	150,000	150,000
Resort Capital (in reserve)		203,000	250,000							
CDOT Capital Facility				2,400,000	2,400,000					
Land (in-kind)				600,000	600,000					
CDOT Planning funds	0	32,000	0			0	0	0	0	0
SUBTOTAL	650,000	635,000	650,000	3,650,000	3,650,000	650,000	920,000	650,000	500,000	500,000

\* This assumes a tax is passed in Fraser which would cover much of the contracted service plus a proportional share of the variable costs of operating in Fraser on all routes

**NOTE: This bill has been prepared for the signature of the appropriate legislative officers and the Governor. To determine whether the Governor has signed the bill or taken other action on it, please consult the legislative status sheet, the legislative history, or the Session Laws.**



SENATE BILL 05-152

BY SENATOR(S) Veiga, and Mitchell;  
also REPRESENTATIVE(S) Jahn, Crane, Harvey, Kerr, and Sullivan.

CONCERNING LOCAL GOVERNMENT COMPETITION IN THE PROVISION OF  
SPECIFIED COMMUNICATIONS SERVICES.

*Be it enacted by the General Assembly of the State of Colorado:*

**SECTION 1.** Title 29, Colorado Revised Statutes, is amended BY  
THE ADDITION OF A NEW ARTICLE to read:

**ARTICLE 27**  
**Competition in Utility and Entertainment Services**

PART 1  
COMPETITION IN UTILITY  
AND ENTERTAINMENT SERVICES

**29-27-101. Legislative declaration.** (1) THE GENERAL ASSEMBLY  
HEREBY FINDS AND DECLARES THAT IT IS THE POLICY OF THIS STATE TO  
ENSURE THAT CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE,  
AND HIGH SPEED INTERNET ACCESS, OTHERWISE KNOWN AS ADVANCED  
SERVICE, ARE EACH PROVIDED WITHIN A CONSISTENT, COMPREHENSIVE, AND

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*Capital letters indicate new material added to existing statutes; dashes through words indicate deletions from existing statutes and such material not part of act.*

NONDISCRIMINATORY FEDERAL, STATE, AND LOCAL GOVERNMENT FRAMEWORK.

(2) THE GENERAL ASSEMBLY FURTHER FINDS AND DECLARES THAT:

(a) THERE IS A NEED FOR STATEWIDE UNIFORMITY IN THE REGULATION OF ALL PUBLIC AND PRIVATE ENTITIES THAT PROVIDE CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, AND ADVANCED SERVICE.

(b) MUNICIPAL ORDINANCES, RULES, AND OTHER REGULATIONS GOVERNING THE PROVISION OF CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, AND ADVANCED SERVICE BY A LOCAL GOVERNMENT IMPACT PERSONS LIVING OUTSIDE THE MUNICIPALITY.

(c) REGULATING THE PROVISION OF CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, AND ADVANCED SERVICE BY A LOCAL GOVERNMENT IS A MATTER OF STATEWIDE CONCERN.

**29-27-102. Definitions.** AS USED IN THIS ARTICLE, UNLESS THE CONTEXT OTHERWISE REQUIRES:

(1) "ADVANCED SERVICE" MEANS HIGH-SPEED INTERNET ACCESS CAPABILITY IN EXCESS OF TWO HUNDRED FIFTY-SIX KILOBITS PER SECOND BOTH UPSTREAM AND DOWNSTREAM.

(2) "CABLE TELEVISION SERVICE" MEANS THE ONE-WAY TRANSMISSION TO SUBSCRIBERS OF VIDEO PROGRAMMING OR OTHER PROGRAMMING SERVICE, AS WELL AS SUBSCRIBER INTERACTION, IF ANY, THAT IS REQUIRED FOR THE SELECTION OR USE OF THE VIDEO PROGRAMMING OR OTHER PROGRAMMING SERVICE.

(3) "LOCAL GOVERNMENT" MEANS ANY CITY, COUNTY, CITY AND COUNTY, SPECIAL DISTRICT, OR OTHER POLITICAL SUBDIVISION OF THIS STATE.

(4) "PRIVATE PROVIDER" MEANS A PRIVATE ENTITY THAT PROVIDES CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE.

(5) "SUBSCRIBER" MEANS A PERSON THAT LAWFULLY RECEIVES

CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE. A PERSON THAT UTILIZES CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE PROVIDED BY A LOCAL GOVERNMENT FOR LOCAL GOVERNMENTAL OR INTERGOVERNMENTAL PURPOSES AND IS USED BY PERSONS ACCESSING GOVERNMENT SERVICES IS NOT A SUBSCRIBER FOR PURPOSES OF THIS ARTICLE.

(6) "TELECOMMUNICATIONS SERVICE" HAS THE SAME MEANING AS SET FORTH IN SECTION 40-15-102 (29), C.R.S.

**29-27-103. Limitations on providing cable television, telecommunications, and advanced services.** (1) EXCEPT AS PROVIDED IN THIS ARTICLE, A LOCAL GOVERNMENT SHALL NOT:

(a) PROVIDE TO ONE OR MORE SUBSCRIBERS CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE; OR

(b) PURCHASE, LEASE, CONSTRUCT, MAINTAIN, OR OPERATE ANY FACILITY FOR THE PURPOSE OF PROVIDING CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE TO ONE OR MORE SUBSCRIBERS.

(2) FOR PURPOSES OF THIS ARTICLE, A LOCAL GOVERNMENT PROVIDES CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE IF THE LOCAL GOVERNMENT PROVIDES THE CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE TO ONE OR MORE SUBSCRIBERS:

(a) DIRECTLY;

(b) INDIRECTLY BY MEANS THAT INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

(I) THROUGH AN AUTHORITY OR INSTRUMENTALITY ACTING ON BEHALF OF THE LOCAL GOVERNMENT OR FOR THE BENEFIT OF THE LOCAL GOVERNMENT BY ITSELF;

(II) THROUGH A PARTNERSHIP OR JOINT VENTURE;

(III) THROUGH A SALE AND LEASEBACK ARRANGEMENT;

(c) BY CONTRACT, INCLUDING A CONTRACT WHEREBY THE LOCAL GOVERNMENT LEASES, SELLS CAPACITY IN, OR GRANTS OTHER SIMILAR RIGHTS TO A PRIVATE PROVIDER TO USE LOCAL GOVERNMENTAL FACILITIES DESIGNED OR CONSTRUCTED TO PROVIDE CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE FOR INTERNAL LOCAL GOVERNMENT PURPOSES IN CONNECTION WITH A PRIVATE PROVIDER'S OFFERING OF CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE; OR

(d) THROUGH SALE OR PURCHASE OF RESALE OR WHOLESALE CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE FOR THE PURPOSE OF PROVIDING CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE TO ONE OR MORE SUBSCRIBERS.

(3) NOTHING IN THIS ARTICLE SHALL BE CONSTRUED TO LIMIT THE AUTHORITY OF A LOCAL GOVERNMENT TO LEASE TO A PRIVATE PROVIDER PHYSICAL SPACE IN OR ON ITS PROPERTY FOR THE PLACEMENT OF EQUIPMENT OR FACILITIES THE PRIVATE PROVIDER USES TO PROVIDE CABLE TELEVISION, TELECOMMUNICATIONS, OR ADVANCED SERVICES.

## PART 2 CONDITIONS FOR PROVIDING SERVICES

**29-27-201. Vote - referendum.** (1) BEFORE A LOCAL GOVERNMENT MAY ENGAGE OR OFFER TO ENGAGE IN PROVIDING CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE, AN ELECTION SHALL BE CALLED ON WHETHER OR NOT THE LOCAL GOVERNMENT SHALL PROVIDE THE PROPOSED CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE.

(2) THE BALLOT AT AN ELECTION CONDUCTED PURSUANT TO THIS SECTION SHALL POSE THE QUESTION AS A SINGLE SUBJECT AND SHALL INCLUDE A DESCRIPTION OF THE NATURE OF THE PROPOSED SERVICE, THE ROLE THAT THE LOCAL GOVERNMENT WILL HAVE IN PROVISION OF THE SERVICE, AND THE INTENDED SUBSCRIBERS OF SUCH SERVICE. THE BALLOT PROPOSITION SHALL NOT TAKE EFFECT UNTIL SUBMITTED TO THE ELECTORS AND APPROVED BY THE MAJORITY OF THOSE VOTING ON THE BALLOT.

**29-27-202. Exemption for unserved areas.** (1) A LOCAL GOVERNMENT SHALL BE EXEMPT FROM THE REQUIREMENTS OF THIS PART 2

AND MAY ENGAGE OR OFFER TO ENGAGE IN PROVIDING CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCE SERVICE IF:

(a) NO PRIVATE PROVIDER OF CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE PROVIDES THE SERVICE ANYWHERE WITHIN THE BOUNDARIES OF THE LOCAL GOVERNMENT;

(b) THE GOVERNING BODY OF THE LOCAL GOVERNMENT HAS SUBMITTED A WRITTEN REQUEST TO PROVIDE THE SERVICE TO ANY INCUMBENT PROVIDER OF CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE WITHIN THE BOUNDARIES OF THE LOCAL GOVERNMENT; AND

(c) THE INCUMBENT PROVIDER HAS NOT AGREED WITHIN SIXTY DAYS OF THE RECEIPT OF A REQUEST SUBMITTED PURSUANT TO PARAGRAPH (b) OF THIS SUBSECTION (1) TO PROVIDE THE SERVICE OR, IF THE PROVIDER HAS AGREED, IT HAS NOT COMMENCED PROVIDING THE SERVICE WITHIN FOURTEEN MONTHS OF THE RECEIPT OF THE REQUEST.

PART 3  
COMPLIANCE WITH LOCAL, STATE,  
AND FEDERAL REGULATIONS

**29-27-301. General operating limitations.** (1) A LOCAL GOVERNMENT THAT PROVIDES CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE UNDER THIS ARTICLE SHALL COMPLY WITH ALL STATE AND FEDERAL LAWS, RULES, AND REGULATIONS GOVERNING PROVISION OF SUCH SERVICE BY A PRIVATE PROVIDER; EXCEPT THAT NOTHING HEREIN SHALL BE CONSTRUED TO AFFECT THE JURISDICTION OF THE PUBLIC UTILITIES COMMISSION WITH RESPECT TO MUNICIPAL UTILITIES.

(2) (a) A LOCAL GOVERNMENT SHALL NOT MAKE OR GRANT ANY UNDUE OR UNREASONABLE PREFERENCE OR ADVANTAGE TO ITSELF OR TO ANY PRIVATE PROVIDER OF CABLE TELEVISION SERVICES, TELECOMMUNICATIONS SERVICES, OR ADVANCED SERVICES.

(b) A LOCAL GOVERNMENT SHALL APPLY WITHOUT DISCRIMINATION AS TO ITSELF AND TO ANY PRIVATE PROVIDER THE LOCAL GOVERNMENT'S ORDINANCES, RULES, AND POLICIES, INCLUDING THOSE RELATING TO:

(I) OBLIGATION TO SERVE;

(II) ACCESS TO PUBLIC RIGHTS-OF-WAY;

(III) PERMITTING;

(IV) PERFORMANCE BONDING WHERE AN ENTITY OTHER THAN THE LOCAL GOVERNMENT IS PERFORMING THE WORK;

(V) REPORTING; AND

(VI) QUALITY OF SERVICE.

**29-27-302. Scope of article.** (1) NOTHING IN THIS ARTICLE SHALL BE CONSTRUED TO AUTHORIZE ANY LOCAL GOVERNMENT TO:

(a) PROVIDE, DIRECTLY OR INDIRECTLY, CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE; OR

(b) PURCHASE, LEASE, CONSTRUCT, MAINTAIN, OR OPERATE A FACILITY FOR THE PURPOSE OF PROVIDING, DIRECTLY OR INDIRECTLY, CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE.

(2) NOTHING IN THIS ARTICLE SHALL BE CONSTRUED TO APPLY TO A LOCAL GOVERNMENT PURCHASING, LEASING, CONSTRUCTING, MAINTAINING, OR OPERATING FACILITIES THAT ARE DESIGNED TO PROVIDE CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, OR ADVANCED SERVICE THAT THE LOCAL GOVERNMENT USES FOR INTERNAL OR INTERGOVERNMENTAL PURPOSES.

(3) NOTHING IN THIS ARTICLE SHALL BE CONSTRUED TO APPLY TO THE SALE OR LEASE BY A LOCAL GOVERNMENT TO PRIVATE PROVIDERS OF EXCESS CAPACITY, PROVIDED:

(a) SUCH EXCESS CAPACITY IS INSUBSTANTIAL IN RELATION TO THE CAPACITY UTILIZED BY THE LOCAL GOVERNMENT FOR ITS OWN PURPOSES; AND

(b) THE OPPORTUNITY TO PURCHASE AND THE OPPORTUNITY TO USE SUCH EXCESS CAPACITY IS MADE AVAILABLE TO ANY PRIVATE PROVIDER IN

A NONDISCRIMINATORY, NONEXCLUSIVE, AND COMPETITIVELY NEUTRAL MANNER.

(4) NOTHING IN THIS ARTICLE SHALL BE CONSTRUED TO LIMIT EITHER THE AUTHORITY OF THE STATEWIDE INTERNET PORTAL AUTHORITY CREATED IN SECTION 24-37.7-102, C.R.S., TO CARRY OUT ITS MISSION OR TO INTEGRATE THE ELECTRONIC INFORMATION DELIVERY SYSTEMS OF LOCAL GOVERNMENTS INTO THE STATEWIDE INTERNET PORTAL AS DEFINED IN ARTICLE 37.7 OF TITLE 24, C.R.S.

**29-27-303. Enforcement and appeal.** (1) BEFORE AN INDIVIDUAL SUBSCRIBER OR A PRIVATE PROVIDER THAT COMPETES WITH A LOCAL GOVERNMENT IN THE GEOGRAPHIC BOUNDARIES OF THE LOCAL GOVERNMENT MAY FILE AN ACTION IN DISTRICT COURT FOR VIOLATION OF THIS ARTICLE, THAT PERSON SHALL FILE A WRITTEN COMPLAINT WITH THE LOCAL GOVERNMENT. THE FAILURE BY THE LOCAL GOVERNMENT TO ISSUE A FINAL DECISION REGARDING THE COMPLAINT WITHIN FORTY-FIVE DAYS SHALL BE TREATED AS AN ADVERSE DECISION FOR PURPOSES OF APPEAL.

(2) AN APPEAL OF AN ADVERSE DECISION FROM THE LOCAL GOVERNMENT MAY BE TAKEN TO THE DISTRICT COURT FOR A DE NOVO PROCEEDING.

**29-27-304. Applicability.** THIS ARTICLE SHALL APPLY TO CABLE TELEVISION SERVICE, TELECOMMUNICATIONS SERVICE, AND ADVANCED SERVICE AND TO THE PURCHASE, LEASE, CONSTRUCTION, MAINTENANCE, OR OPERATION OF ANY FACILITY FOR THE PURPOSE OF PROVIDING SUCH SERVICE, FOR WHICH A LOCAL GOVERNMENT HAS NOT ENTERED INTO AN AGREEMENT OR OTHERWISE TAKEN ANY SUBSTANTIAL ACTION PRIOR TO MARCH 1, 2005, TO PROVIDE SUCH SERVICE OR PURCHASE, LEASE, CONSTRUCT, MAINTAIN, OR OPERATE SUCH FACILITIES.

**SECTION 2. Safety clause.** The general assembly hereby finds,

determines, and declares that this act is necessary for the immediate preservation of the public peace, health, and safety.

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Joan Fitz-Gerald  
PRESIDENT OF  
THE SENATE

---

Andrew Romanoff  
SPEAKER OF THE HOUSE  
OF REPRESENTATIVES

---

Karen Goldman  
SECRETARY OF  
THE SENATE

---

Marilyn Eddins  
CHIEF CLERK OF THE HOUSE  
OF REPRESENTATIVES

APPROVED \_\_\_\_\_

---

Bill Owens  
GOVERNOR OF THE STATE OF COLORADO